AGENDA ARCHITECTURAL REVIEW BOARD MEETING City Hall, 385 South Goliad, Rockwall, Texas Council Chambers Conference Room January 9, 2018 5:00 PM

ACTION ITEMS

1. SP2017-041 (David)

Discuss and consider a request by David Naylor of Rayburn Country Electric Cooperative for the approval of a site plan for an addition to an existing facility on an 18.875-acre tract of land identified as Lots 1, 2 & 3, Block A, Rayburn Country Addition and a portion of Tract 3-13 of the W. H. Barnes Survey, Abstract No. 26, City of Rockwall, Rockwall County, Texas, zoned Heavy Commercial (HC) District, addressed as 950 & 980 Sids Road, and take any action necessary.

2. SP2017-042 (David)

Discuss and consider a request by Bob Leimberg of Clayco Construction on behalf of Alan Yu of Lollicup USA, Inc. for the approval of a site plan for a manufacturing facility on a 34.23-acre tract of land identified as a portion of Lot 1, Block A, Rockwall, Technology Park, Phase 2 and Tract 2-01 of the J. H. B. Jones Survey, Abstract No. 125, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, located at the southeast corner of the intersection of Corporate Crossing [*FM-3549*] and Capital Boulevard, situated within the FM-549 Overlay (FM-549 OV) District, and take any action necessary.

ADJOURNMENT

This facility is wheelchair accessible and accessible parking spaces are available. Request for accommodations or interpretive services must be made 48 hours prior to this meeting. Please contact the City Secretary's Office at (972) 772-6406 for further information.

I, Laura Morales, Planning & Zoning Coordinator for the City of Rockwall, Texas, do hereby certify that this Agenda was posted at City Hall, in a place readily accessible to the general public at all times, on the 5th day of January, 2018, by 5:00 p.m., and remained so posted for at least 72 continuous hours preceding the scheduled time of said meeting.

AGENDA ARCHITECTURAL REVIEW BOARD MEETING City Hall, 385 South Goliad, Rockwall, Texas Council Chambers Conference Room January 30, 2018 5:00 PM

ACTION ITEMS

1. SP2018-001 (Korey)

Discuss and consider a request by Larae Tucker of Verdad Real Estate for the approval of a site plan for a retail store with gasoline sales on a 1.67-acre tract of land identified as Tract 11-1 of the W. B. Bowles Survey, Abstract No. 12, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 48 (PD-48) for General Retail (GR) District land uses, situated within the SH-66 Overlay (SH-66 OV) District, situatued west of the intersection of W. Rusk Street [SH-66] and N. Lakeshore Drive, and take any action necessary.

2. SP2018-002 (David)

Discuss and consider a request by Matthew Peterson of D. B. Contractors, Inc. on behalf of Jeff Fleming of J. R. Investments, LLC for the approval of a manufacturing facility on an 11.155-acre parcel of land identified as a portion of Lot 6 and all of Lot 7, Block D, Rockwall Technology Park Addition, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, located at the southwest corner of the intersection of Innovation Drive and Observation Trail, and take any action necessary.

3. SP2018-003 (David)

Discuss and consider a request by Eddie Bond of Groundbreakers, LLC on behalf of Jerry Kissick of Jerry Kissick Custom Homes for the approval of a site plan for a retail center on a 2.113-acre tract of land identified as Lot 6, Block A, Maverick Ranch Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, located at the northwest corner of the intersection of Ranch Trail Road and Horizon Road [*FM-3097*], and take any action necessary.

ADJOURNMENT

This facility is wheelchair accessible and accessible parking spaces are available. Request for accommodations or interpretive services must be made 48 hours prior to this meeting. Please contact the City Secretary's Office at (972) 772-6406 for further information.

I, Laura Morales, Planning & Zoning Coordinator for the City of Rockwall, Texas, do hereby certify that this Agenda was posted at City Hall, in a place readily accessible to the general public at all times, on the 26th day of January, 2018, by 5:00 p.m., and remained so posted for at least 72 continuous hours preceding the scheduled time of said meeting.

AGENDA ARCHITECTURAL REVIEW BOARD MEETING City Hall, 385 South Goliad, Rockwall, Texas Council Chambers Conference Room February 13, 2018 5:00 PM

ACTION ITEMS

1. SP2018-001 (Korey)

Discuss and consider a request by Larae Tucker of Verdad Real Estate for the approval of a site plan for a retail store with gasoline sales on a 1.67-acre tract of land identified as Tract 11-1 of the W. B. Bowles Survey, Abstract No. 12, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 48 (PD-48) for General Retail (GR) District land uses, situated within the SH-66 Overlay (SH-66 OV) District, situatued west of the intersection of W. Rusk Street [SH-66] and N. Lakeshore Drive, and take any action necessary.

2. SP2018-003 (David)

Discuss and consider a request by Eddie Bond of Groundbreakers, LLC on behalf of Jerry Kissick of Jerry Kissick Custom Homes for the approval of a site plan for a retail center on a 2.113-acre tract of land identified as Lot 6, Block A, Maverick Ranch Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, located at the northwest corner of the intersection of Ranch Trail Road and Horizon Road [*FM-3097*], and take any action necessary.

ADJOURNMENT

This facility is wheelchair accessible and accessible parking spaces are available. Request for accommodations or interpretive services must be made 48 hours prior to this meeting. Please contact the City Secretary's Office at (972) 772-6406 for further information.

I, Laura Morales, Planning & Zoning Coordinator for the City of Rockwall, Texas, do hereby certify that this Agenda was posted at City Hall, in a place readily accessible to the general public at all times, on the 9th day of February, 2018, by 5:00 p.m., and remained so posted for at least 72 continuous hours preceding the scheduled time of said meeting.

AGENDA ARCHITECTURAL REVIEW BOARD MEETING City Hall, 385 South Goliad, Rockwall, Texas Council Chambers Conference Room February 27, 2018 5:00 PM

ACTION ITEMS

1. SP2018-001 (Korey)

Discuss and consider a request by Larae Tucker of Verdad Real Estate for the approval of a gateway sign on a 1.67-acre tract of land identified as Tract 11-1 of the W. B. Bowles Survey, Abstract No. 12, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 48 (PD-48) for General Retail (GR) District land uses, situated within the SH-66 Overlay (SH-66 OV) District, situated west of the intersection of W. Rusk Street [SH-66] and N. Lakeshore Drive, and take any action necessary.

2. SP2018-005 (David)

Discuss and consider a request by Crystal Vasquez of Huckabee on behalf Will Salee of the Rockwall Independent School District for the approval of a site plan for a school on a 6.983-acre parcel of land identified as Lot 1, Block A, Rockwall School Addition #2, City of Rockwall, Rockwall County, Texas, zoned Single Family 10 (SF-10) District, addressed as 615 Highland Drive, and take any action necessary.

ADJOURNMENT

This facility is wheelchair accessible and accessible parking spaces are available. Request for accommodations or interpretive services must be made 48 hours prior to this meeting. Please contact the City Secretary's Office at (972) 772-6406 for further information.

I, Laura Morales, Planning & Zoning Coordinator for the City of Rockwall, Texas, do hereby certify that this Agenda was posted at City Hall, in a place readily accessible to the general public at all times, on the 23rd day of February, 2018, by 5:00 p.m., and remained so posted for at least 72 continuous hours preceding the scheduled time of said meeting.

AGENDA ARCHITECTURAL REVIEW BOARD MEETING City Hall, 385 South Goliad, Rockwall, Texas Council Chambers Conference Room March 13, 2018 5:00 PM

ACTION ITEMS

1. SP2013-006 (Korey)

Discuss and consider a request by Jay Woo of JNF Associates for the approval of amended building elevations for an existing 10,525-SF building situated on a 1.364-acre parcel of land identified as Lot 15, Block A, La Jolla Pointe Addition, Phase 2, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the IH-30 Overlay (IH-30 OV) District, addressed as 568 E IH-30, and take any action necessary.

2. SP2018-001 (Korey) [Tabled March 27, 2018]

Discuss and consider a request by Larae Tucker of Verdad Real Estate for the approval of a gateway sign on a 1.67-acre tract of land identified as Tract 11-1 of the W. B. Bowles Survey, Abstract No. 12, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 48 (PD-48) for General Retail (GR) District land uses, situated within the SH-66 Overlay (SH-66 OV) District, situated west of the intersection of W. Rusk Street [*SH-66*] and N. Lakeshore Drive, and take any action necessary.

ADJOURNMENT

This facility is wheelchair accessible and accessible parking spaces are available. Request for accommodations or interpretive services must be made 48 hours prior to this meeting. Please contact the City Secretary's Office at (972) 772-6406 for further information.

I, Laura Morales, Planning & Zoning Coordinator for the City of Rockwall, Texas, do hereby certify that this Agenda was posted at City Hall, in a place readily accessible to the general public at all times, on the 9th day of March, 2018, by 5:00 p.m., and remained so posted for at least 72 continuous hours preceding the scheduled time of said meeting.

AGENDA ARCHITECTURAL REVIEW BOARD MEETING City Hall, 385 South Goliad, Rockwall, Texas Council Chambers Conference Room March 27, 2018 5:00 PM

ACTION ITEMS

1. SP2018-001 (Korey)

Discuss and consider a request by Larae Tucker of Verdad Real Estate for the approval of a gateway sign on a 1.67-acre tract of land identified as Tract 11-1 of the W. B. Bowles Survey, Abstract No. 12, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 48 (PD-48) for General Retail (GR) District land uses, situated within the SH-66 Overlay (SH-66 OV) District, situated west of the intersection of W. Rusk Street [*SH-66*] and N. Lakeshore Drive, and take any action necessary.

2. SP2018-007 (Korey)

Discuss and consider a request by Worth Williams of Moore Worth Investment, LLC for the approval of a site plan for a restaurant with drive-through facilities on a 0.81-acre parcel of land identified as Lot 3, Block A, Lakeshore Commons Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 65 (PD-65) for General Retail (GR) District land uses, situated within the North SH-205 Overlay (N. SH-205 OV) District, addressed as 1945 N. Goliad Street, and take any action necessary.

ADJOURNMENT

This facility is wheelchair accessible and accessible parking spaces are available. Request for accommodations or interpretive services must be made 48 hours prior to this meeting. Please contact the City Secretary's Office at (972) 772-6406 for further information.

I, Laura Morales, Planning & Zoning Coordinator for the City of Rockwall, Texas, do hereby certify that this Agenda was posted at City Hall, in a place readily accessible to the general public at all times, on the 23rd day of March, 2018, by 5:00 p.m., and remained so posted for at least 72 continuous hours preceding the scheduled time of said meeting.

AGENDA ARCHITECTURAL REVIEW BOARD MEETING City Hall, 385 South Goliad, Rockwall, Texas Council Chambers Conference Room April 10, 2018 5:00 PM

ACTION ITEMS

1. SP2018-007 (Korey)

Discuss and consider a request by Worth Williams of Moore Worth Investment, LLC for the approval of a site plan for a restaurant with drive-through facilities on a 0.81-acre parcel of land identified as Lot 3, Block A, Lakeshore Commons Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 65 (PD-65) for General Retail (GR) District land uses, situated within the North SH-205 Overlay (N. SH-205 OV) District, addressed as 1945 N. Goliad Street, and take any action necessary.

ADJOURNMENT

This facility is wheelchair accessible and accessible parking spaces are available. Request for accommodations or interpretive services must be made 48 hours prior to this meeting. Please contact the City Secretary's Office at (972) 772-6406 for further information.

I, Korey Brooks, Planning & Zoning Coordinator for the City of Rockwall, Texas, do hereby certify that this Agenda was posted at City Hall, in a place readily accessible to the general public at all times, on the 6th day of April, 2018, by 5:00 p.m., and remained so posted for at least 72 continuous hours preceding the scheduled time of said meeting.

AGENDA ARCHITECTURAL REVIEW BOARD MEETING City Hall, 385 South Goliad, Rockwall, Texas Council Chambers Conference Room April 24, 2018 5:00 PM

ACTION ITEMS

1. SP2018-008 (Korey)

Discuss and consider a request by Worth Williams of Moore Worth Investment, LLC for the approval of a site plan for a restaurant on a 0.778-acre parcel of land identified as Lot 4, Block A, Lakeshore Commons Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 65 (PD-65) for General Retail (GR) District land uses, situated within the North SH-205 Overlay (N. SH-205 OV) District, addressed as 1901 N. Goliad Street, and take any action necessary.

2. SP2018-009 (David)

Discuss and consider a request by Scott Roberts of Creative Architects on behalf of Adam Cunningham of Patriot Paws for site plan for a *Residential Care Facility* on a 3.466-acre parcel of land identified as Lot 1, Block A, Patriot Paws Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, addressed as 302 Ranch Trail, and take any action necessary.

ADJOURNMENT

This facility is wheelchair accessible and accessible parking spaces are available. Request for accommodations or interpretive services must be made 48 hours prior to this meeting. Please contact the City Secretary's Office at (972) 772-6406 for further information.

I, Korey Brooks, Planner for the City of Rockwall, Texas, do hereby certify that this Agenda was posted at City Hall, in a place readily accessible to the general public at all times, on the 20th day of April, 2018, by 5:00 p.m., and remained so posted for at least 72 continuous hours preceding the scheduled time of said meeting.

AGENDA ARCHITECTURAL REVIEW BOARD MEETING City Hall, 385 South Goliad, Rockwall, Texas Council Chambers Conference Room May 8, 2018 5:00 PM

ACTION ITEMS

1. SP2018-008 (Korey)

Discuss and consider a request by Worth Williams of Moore Worth Investment, LLC for the approval of a site plan for a restaurant on a 0.778-acre parcel of land identified as Lot 4, Block A, Lakeshore Commons Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 65 (PD-65) for General Retail (GR) District land uses, situated within the North SH-205 Overlay (N. SH-205 OV) District, addressed as 1901 N. Goliad Street, and take any action necessary.

2. SP2018-009 (David)

Discuss and consider a request by Scott Roberts of Creative Architects on behalf of Adam Cunningham of Patriot Paws for site plan for a *Residential Care Facility* on a 3.466-acre parcel of land identified as Lot 1, Block A, Patriot Paws Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, addressed as 302 Ranch Trail, and take any action necessary.

3. SP2018-011 (David)

Discuss and consider a request by Bob Leimberg of Clayco Construction on behalf of Alan Yu of Lollicup USA, Inc. for the approval of an amended site plan for a manufacturing facility on a 34.23-acre tract of land identified as a portion of Lot 1, Block A, Rockwall, Technology Park, Phase 2 and Tract 2-01 of the J. H. B. Jones Survey, Abstract No. 125, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, located at the southeast corner of the intersection of Corporate Crossing [FM-3549] and Capital Boulevard, situated within the FM-549 Overlay (FM-549 OV) District, and take any action necessary.

ADJOURNMENT

This facility is wheelchair accessible and accessible parking spaces are available. Request for accommodations or interpretive services must be made 48 hours prior to this meeting. Please contact the City Secretary's Office at (972) 772-6406 for further information.

I, Korey Brooks, Planner for the City of Rockwall, Texas, do hereby certify that this Agenda was posted at City Hall, in a place readily accessible to the general public at all times, on the 4th day of May, 2018, by 5:00 p.m., and remained so posted for at least 72 continuous hours preceding the scheduled time of said meeting.

AGENDA ARCHITECTURAL REVIEW BOARD MEETING City Hall, 385 South Goliad, Rockwall, Texas Council Chambers Conference Room May 29, 2018 5:00 PM

ACTION ITEMS

1. SP2018-012 (David)

Discuss and consider a request by Chris Allen of D. L. Marketplace Partners, LLC on behalf of Rob Cameron of Cameron & Cameron for the approval of a site plan for a memory care facility on a 2.0896-acre portion of a larger 12.40-acre tract of land identified as Tract 8 of the B. J. T. Lewis, Abstract No. 255, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 86 (PD-86) for Multi-Family 14 (MF-14) District land uses, situated within the SH-205 Overlay (SH-205 OV) District, generally located south of the intersection of TL Townsend Drive and Justin Road, and take any action necessary.

2. SP2018-013 (David)

Discuss and consider a request by Bart Tinsley of Adlers Rockwall SIL Property, LLC on behalf of Rob Cameron of Cameron & Cameron for the approval of a site plan for a multi-family apartment complex on a 10.3103-acre portion of a larger 12.40-acre tract of land identified as Tract 8 of the B. J. T. Lewis, Abstract No. 255, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 86 (PD-86) for Multi-Family 14 (MF-14) District land uses, situated within the SH-205 Overlay (SH-205 OV) District, generally located south of the intersection of TL Townsend Drive and Justin Road, and take any action necessary.

3. SP2018-014 (Korey)

Discuss and consider a request by Wayne Mershawn of Mershawn Architects on behalf of Jeff Johnston of Woodhill Dental for the approval of a site plan for a medical office building on a 0.85-acre parcel of land identified as Lot 12, Block 2, Alliance Addition, Phase 2, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 57 (PD-57) for Commercial (C) District land uses, addressed as 149 H. Wallace Lane, and take any action necessary.

4. SP2018-015 (Korey)

Discuss and consider a request by Matilyn Vivo of Rustic Warehouse for the approval of a site plan to allow changes to the exterior of an existing commercial/retail building on a 1.9175-acre parcel of land identified as Tract 2 of the B. J. T. Lewis Survey, Abstract No. 255, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the SH-205 Overlay (SH-205 OV) District, addressed as 1411 S. Goliad Street [*SH-205*], and take any action necessary.

ADJOURNMENT

This facility is wheelchair accessible and accessible parking spaces are available. Request for accommodations or interpretive services must be made 48 hours prior to this meeting. Please contact the City Secretary's Office at (972) 772-6406 for further information.

I, Laura Morales, Planning Coordinator for the City of Rockwall, Texas, do hereby certify that this Agenda was posted at City Hall, in a place readily accessible to the general public at all times, on the 25th day of May, 2018, by 5:00 p.m., and remained so posted for at least 72 continuous hours preceding the scheduled time of said meeting.

AGENDA ARCHITECTURAL REVIEW BOARD MEETING City Hall, 385 South Goliad, Rockwall, Texas Council Chambers Conference Room June 12, 2018 5:00 PM

CALL TO ORDER

ACTION ITEMS

1. SP2018-012 (David)

Discuss and consider a request by Chris Allen of D. L. Marketplace Partners, LLC on behalf of Rob Cameron of Cameron & Cameron for the approval of a site plan for a memory care facility on a 2.0896-acre portion of a larger 12.40-acre tract of land identified as Tract 8 of the B. J. T. Lewis, Abstract No. 255, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 86 (PD-86) for Multi-Family 14 (MF-14) District land uses, situated within the SH-205 Overlay (SH-205 OV) District, generally located south of the intersection of TL Townsend Drive and Justin Road, and take any action necessary.

2. SP2018-013 (David)

Discuss and consider a request by Bart Tinsley of Adlers Rockwall SIL Property, LLC on behalf of Rob Cameron of Cameron & Cameron for the approval of a site plan for a multi-family apartment complex on a 10.3103-acre portion of a larger 12.40-acre tract of land identified as Tract 8 of the B. J. T. Lewis, Abstract No. 255, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 86 (PD-86) for Multi-Family 14 (MF-14) District land uses, situated within the SH-205 Overlay (SH-205 OV) District, generally located south of the intersection of TL Townsend Drive and Justin Road, and take any action necessary.

3. SP2018-014 (Korey)

Discuss and consider a request by Wayne Mershawn of Mershawn Architects on behalf of Jeff Johnston of Woodhill Dental for the approval of a site plan for a medical office building on a 0.85-acre parcel of land identified as Lot 12, Block 2, Alliance Addition, Phase 2, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 57 (PD-57) for Commercial (C) District land uses, addressed as 149 H. Wallace Lane, and take any action necessary.

ADJOURNMENT

This facility is wheelchair accessible and accessible parking spaces are available. Request for accommodations or interpretive services must be made 48 hours prior to this meeting. Please contact the City Secretary's Office at (972) 772-6406 for further information.

I, Laura Morales, Planning & Zoning Coordinator of the City of Rockwall, Texas, do hereby certify that this Agenda was posted at City Hall, in a place readily accessible to the general public at all times, on the 8th day of June, 2018, by 5:00 p.m., and remained so posted for at least 72 continuous hours preceding the scheduled time of said meeting.

AGENDA ARCHITECTURAL REVIEW BOARD MEETING City Hall, 385 South Goliad, Rockwall, Texas Council Chambers Conference Room July 10, 2018 5:00 PM

CALL TO ORDER

ACTION ITEMS

1. Election of a Chair and Vice Chair (Ryan)

Discuss and consider the election of a chair and vice chair in accordance Section 13.4, *Officers*, of Article II, *Authority and Administrative Procedures*, of the Unified Development Code, and take any action necessary.

2. SP2018-016 (David)

Discuss and consider a request by Wayne Mershawn of Mershawn Architects on behalf of Clay Shipman for the approval of a site plan for an office building on a 1.28-acre parcel of land identified as Lot 3, Block A, La Jolla Pointe Addition, Phase 2, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, located on La Jolla Pointe drive northeast of the intersection La Jolla Pointe Drive and Laguna Drive, and take any action necessary.

3. SP2018-017 (Ryan) [TABLED: JULY 31, 2018]

Discuss and consider a request by Cameron Slown of FC Cuny Corporation on behalf of Phillip McNeill of Summer Lee Rockwall, LLC for the approval of a site plan for a hotel on a 2.12-acre tract of land identified as portions of Lot 2A, Isaac Brown Addition and Lot 2, Block A, Harbor Village Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 32 (PD-32), situated within the Scenic Overlay (SOV) District and the Interior and Residential Subdistricts of Planned Development District 32 (PD-32), located adjacent to Summer Lee Drive southwest of the intersection of Horizon Road [FM-3097] and Summer Lee Drive, and take any action necessary.

ADJOURNMENT

This facility is wheelchair accessible and accessible parking spaces are available. Request for accommodations or interpretive services must be made 48 hours prior to this meeting. Please contact the City Secretary's Office at (972) 772-6406 for further information.

I, Laura Morales, Planning & Zoning Coordinator of the City of Rockwall, Texas, do hereby certify that this Agenda was posted at City Hall, in a place readily accessible to the general public at all times, on the 6th day of July, 2018, by 5:00 p.m., and remained so posted for at least 72 continuous hours preceding the scheduled time of said meeting.

AGENDA ARCHITECTURAL REVIEW BOARD MEETING City Hall, 385 South Goliad, Rockwall, Texas Council Chambers Conference Room July 31, 2018 5:00 PM

CALL TO ORDER

ACTION ITEMS

1. SP2018-017 (Ryan)

Discuss and consider a request by Cameron Slown of FC Cuny Corporation on behalf of Phillip McNeill of Summer Lee Rockwall, LLC for the approval of a site plan for a hotel on a 2.12-acre tract of land identified as portions of Lot 2A, Isaac Brown Addition and Lot 2, Block A, Harbor Village Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 32 (PD-32), situated within the Scenic Overlay (SOV) District and the Interior and Residential Subdistricts of Planned Development District 32 (PD-32), located adjacent to Summer Lee Drive southwest of the intersection of Horizon Road [FM-3097] and Summer Lee Drive, and take any action necessary.

2. SP2018-019 (David)

Discuss and consider a request by Brad Williams of Winstead PC on behalf of Andrew Malzer of Mountain Prize, Inc. for the approval of an amended site plan for a retail store with gasoline sales on a 2.46-acre parcel of land identified as Lots 1 & 2 of the Woods at Rockwall Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the Scenic Overlay (SOV) District, located at the southeast corner of the intersection of Ridge Road and Yellow Jacket Lane, and take any action necessary.

3. SP2018-020 (Korey)

Discuss and consider a request by Randall Eardley of Wier & Associates, Inc. on behalf of Getra Thomason-Sanders of Chick-Fil-A, Inc. for the approval of a site plan for a *Restaurant, 2,000 SF or More with Drive Through* on a 1.40-acre parcel of land identified as Lot 2, Block A, Lakeshore Commons Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 65 (PD-65) for General Retail (GR) District land uses, situated within the North SH-205 Overlay (N. SH-205 OV) District, addressed as 1979 N. Goliad Street, and take any action necessary.

4. SP2018-021 (Korey)

Discuss and consider a request by Ellis Little of Ellis Little Masix Construction, LLC on behalf of David Johnston of the Lofland Farms Estates Homeowner's Association (HOA) for the approval of a site plan for an amenities center on a 1.0521-acre parcel of land identified as Lot 22, Block B, Lofland Farms, Phase 1 Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 45 (PD-45) for Single-Family 10 (SF-10) District land uses, situated within the SH-276 Overlay (SH-276 OV) District, addressed as 2400 Wagon Wheel Drive, and take any action necessary.

5. SP2018-015 (Korey)

Discuss and consider a request by Matilyn Vivo of Rustic Warehouse for the approval of a site plan to allow changes to the exterior of an existing commercial/retail building on a 1.9175-acre parcel of land identified as Tract 2 of the B. J. T. Lewis Survey, Abstract No. 255, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the SH-205 Overlay (SH-205 OV) District, addressed as 1411 S. Goliad Street [*SH-205*], and take any action necessary.

6. SP2018-023 (David)

Discuss and consider a request by Pan S. Sribhen, P. E. of PSA Engineering on behalf of Shailesh C. Vora of DFW Hospitality of Rockwall, LLC for the approval of a site plan for a hotel on a 1.954-acre tract of land identified as a portion of Lots 7 & 8, Block A, La Jolla Pointe Addition, Phase 2, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the Scenic Overlay (SOV) District and the IH-30 Overlay (IH-30 OV) District, situated south of the intersection of Carmel Circle and Laguna Drive, and take any action necessary.

7. SP2018-024 (David)

Discuss and consider a request by Pan S. Sribhen, P. E. of PSA Engineering on behalf of Shailesh C. Vora of DFW Hospitality of Rockwall, LLC for the approval of a site plan for a medical office building on a 1.003-acre tract of land identified as a portion of Lot 6, Block A, La Jolla Pointe Addition, Phase 2, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the Scenic Overlay (SOV) District, situated south of the intersection of Carmel Circle and Laguna Drive, and take any action necessary.

8. SP2018-025 (David)

Discuss and consider a request by Pan S. Sribhen, P. E. of PSA Engineering on behalf of Shailesh C. Vora of DFW Hospitality of Rockwall, LLC for the approval of a site plan for a office building on a 1.080-acre tract of land identified as a portion of Lots 6 & 7, Block A, La Jolla Pointe Addition, Phase 2, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the Scenic Overlay (SOV) District and the IH-30 Overlay (IH-30 OV) District, situated south of the intersection of Carmel Circle and Laguna Drive, and take any action necessary.

9. SP2018-026 (Korey)

Discuss and consider a request by Young Chung of on behalf of Francisco Cardoso for the approval of an amended site plan for an office building on a 0.45-acre tract of land identified as Lot 10, Block A, Municipal Industrial Park Addition, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, addressed as 855 Whitmore Drive, and take any action necessary.

ADJOURNMENT

This facility is wheelchair accessible and accessible parking spaces are available. Request for accommodations or interpretive services must be made 48 hours prior to this meeting. Please contact the City Secretary's Office at (972) 772-6406 for further information.

I, Laura Morales, Planning & Zoning Coordinator of the City of Rockwall, Texas, do hereby certify that this Agenda was posted at City Hall, in a place readily accessible to the general public at all times, on the 27th day of July, 2018, by 5:00 p.m., and remained so posted for at least 72 continuous hours preceding the scheduled time of said meeting.

AGENDA ARCHITECTURAL REVIEW BOARD MEETING City Hall, 385 South Goliad, Rockwall, Texas Council Chambers Conference Room August 14, 2018 5:00 PM

CALL TO ORDER

ACTION ITEMS

1. Election of a Chair and Vice Chair (Ryan)

Discuss and consider the election of a chair and vice chair in accordance Section 13.4, *Officers*, of Article II, *Authority and Administrative Procedures*, of the Unified Development Code, and take any action necessary.

2. SP2018-017 (Ryan)

Discuss and consider a request by Cameron Slown of FC Cuny Corporation on behalf of Phillip McNeill of Summer Lee Rockwall, LLC for the approval of a site plan for a hotel on a 2.12-acre tract of land identified as portions of Lot 2A, Isaac Brown Addition and Lot 2, Block A, Harbor Village Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 32 (PD-32), situated within the Scenic Overlay (SOV) District and the Interior and Residential Subdistricts of Planned Development District 32 (PD-32), located adjacent to Summer Lee Drive southwest of the intersection of Horizon Road [FM-3097] and Summer Lee Drive, and take any action necessary.

3. SP2018-020 (Korey)

Discuss and consider a request by Randall Eardley of Wier & Associates, Inc. on behalf of Getra Thomason-Sanders of Chick-Fil-A, Inc. for the approval of a site plan for a *Restaurant, 2,000 SF or More with Drive Through* on a 1.40-acre parcel of land identified as Lot 2, Block A, Lakeshore Commons Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 65 (PD-65) for General Retail (GR) District land uses, situated within the North SH-205 Overlay (N. SH-205 OV) District, addressed as 1979 N. Goliad Street, and take any action necessary.

4. SP2018-023 (David)

Discuss and consider a request by Pan S. Sribhen, P. E. of PSA Engineering on behalf of Shailesh C. Vora of DFW Hospitality of Rockwall, LLC for the approval of a site plan for a hotel on a 1.954-acre tract of land identified as a portion of Lots 7 & 8, Block A, La Jolla Pointe Addition, Phase 2, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the Scenic Overlay (SOV) District and the IH-30 Overlay (IH-30 OV) District, situated south of the intersection of Carmel Circle and Laguna Drive, and take any action necessary.

5. SP2018-024 (David)

Discuss and consider a request by Pan S. Sribhen, P. E. of PSA Engineering on behalf of Shailesh C. Vora of DFW Hospitality of Rockwall, LLC for the approval of a site plan for a medical office building on a 1.003-acre tract of land identified as a portion of Lot 6, Block A, La Jolla Pointe Addition, Phase 2, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the Scenic Overlay (SOV) District, situated south of the intersection of Carmel Circle and Laguna Drive, and take any action necessary.

6. SP2018-025 (David)

Discuss and consider a request by Pan S. Sribhen, P. E. of PSA Engineering on behalf of Shailesh C. Vora of DFW Hospitality of Rockwall, LLC for the approval of a site plan for a office building on a 1.080-acre tract of land identified as a portion of Lots 6 & 7, Block A, La Jolla Pointe Addition, Phase 2, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the Scenic Overlay (SOV) District and the IH-30 Overlay (IH-30 OV) District, situated south of the intersection of Carmel Circle and Laguna Drive, and take any action necessary.

ADJOURNMENT

This facility is wheelchair accessible and accessible parking spaces are available. Request for accommodations or interpretive services must be made 48 hours prior to this meeting. Please contact the City Secretary's Office at (972) 772-6406 for further information.

I, Laura Morales, Planning & Zoning Coordinator of the City of Rockwall, Texas, do hereby certify that this Agenda was posted at City Hall, in a place readily accessible to the general public at all times, on the 27th day of July, 2018, by 5:00 p.m., and remained so posted for at least 72 continuous hours preceding the scheduled time of said meeting.

AGENDA ARCHITECTURAL REVIEW BOARD MEETING City Hall, 385 South Goliad, Rockwall, Texas Council Chambers Conference Room August 28, 2018 5:00 PM

CALL TO ORDER

ACTION ITEMS

1. SP2018-017 (Ryan)

Discuss and consider a request by Cameron Slown of FC Cuny Corporation on behalf of Phillip McNeill of Summer Lee Rockwall, LLC for the approval of a site plan for a hotel on a 2.12-acre tract of land identified as portions of Lot 2A, Isaac Brown Addition and Lot 2, Block A, Harbor Village Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 32 (PD-32), situated within the Scenic Overlay (SOV) District and the Interior, Horizon/Summer Lee and Residential Subdistricts of Planned Development District 32 (PD-32), situated within the Scenic Overlay (SOV) District, located adjacent to Summer Lee Drive southwest of the intersection of Horizon Road [FM-3097] and Summer Lee Drive, and take any action necessary.

2. SP2018-019 (David) [Postponed Until September 11, 2018]

Discuss and consider a request by Brad Williams of Winstead PC on behalf of Andrew Malzer of Mountain Prize, Inc. for the approval of an amended site plan for a retail store with gasoline sales on a 2.46-acre parcel of land identified as Lots 1 & 2 of the Woods at Rockwall Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the Scenic Overlay (SOV) District, located at the southeast corner of the intersection of Ridge Road and Yellow Jacket Lane, and take any action necessary.

3. SP2018-023 (David) [Postponed Until September 11, 2018]

Discuss and consider a request by Pan S. Sribhen, P. E. of PSA Engineering on behalf of Shailesh C. Vora of DFW Hospitality of Rockwall, LLC for the approval of a site plan for a hotel on a 2.111-acre tract of land identified as a portion of Lots 7 & 8, Block A, La Jolla Pointe Addition, Phase 2, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the Scenic Overlay (SOV) District and the IH-30 Overlay (IH-30 OV) District, situated south of the intersection of Carmel Circle and Laguna Drive, and take any action necessary.

ADJOURNMENT

This facility is wheelchair accessible and accessible parking spaces are available. Request for accommodations or interpretive services must be made 48 hours prior to this meeting. Please contact the City Secretary's Office at (972) 772-6406 for further information.

I, Laura Morales, Planning & Zoning Coordinator of the City of Rockwall, Texas, do hereby certify that this Agenda was posted at City Hall, in a place readily accessible to the general public at all times, on the 24th day of August, 2018, by 5:00 p.m., and remained so posted for at least 72 continuous hours preceding the scheduled time of said meeting.

AGENDA

ARCHITECTURAL REVIEW BOARD MEETING

City Hall, 385 South Goliad, Rockwall, Texas Council Chambers Conference Room September 11, 2018

5:00 PM

CALL TO ORDER

ACTION ITEMS

1. SP2018-017 (Ryan)

Discuss and consider a request by Cameron Slown of FC Cuny Corporation on behalf of Phillip McNeill of Summer Lee Rockwall, LLC for the approval of a site plan for a hotel on a 2.12-acre tract of land identified as portions of Lot 2A, Isaac Brown Addition and Lot 2, Block A, Harbor Village Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 32 (PD-32), situated within the Scenic Overlay (SOV) District and the Interior, Horizon/Summer Lee and Residential Subdistricts of Planned Development District 32 (PD-32), situated within the Scenic Overlay (SOV) District, located adjacent to Summer Lee Drive southwest of the intersection of Horizon Road [FM-3097] and Summer Lee Drive, and take any action necessary.

2. SP2018-019 (David) [Postponed Until September 25, 2018]

Discuss and consider a request by Brad Williams of Winstead PC on behalf of Andrew Malzer of Mountain Prize, Inc. for the approval of an amended site plan for a retail store with gasoline sales on a 2.46-acre parcel of land identified as Lots 1 & 2 of the Woods at Rockwall Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the Scenic Overlay (SOV) District, located at the southeast corner of the intersection of Ridge Road and Yellow Jacket Lane, and take any action necessary.

3. SP2018-023 (David) [Postponed Until September 25, 2018]

Discuss and consider a request by Pan S. Sribhen, P. E. of PSA Engineering on behalf of Shailesh C. Vora of DFW Hospitality of Rockwall, LLC for the approval of a site plan for a hotel on a 2.111-acre tract of land identified as a portion of Lots 7 & 8, Block A, La Jolla Pointe Addition, Phase 2, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the Scenic Overlay (SOV) District and the IH-30 Overlay (IH-30 OV) District, situated south of the intersection of Carmel Circle and Laguna Drive, and take any action necessary.

ADJOURNMENT

This facility is wheelchair accessible and accessible parking spaces are available. Request for accommodations or interpretive services must be made 48 hours prior to this meeting. Please contact the City Secretary's Office at (972) 772-6406 for further information.

I, Laura Morales, Planning & Zoning Coordinator of the City of Rockwall, Texas, do hereby certify that this Agenda was posted at City Hall, in a place readily accessible to the general public at all times, on the 7th day of September, 2018, by 5:00 p.m., and remained so posted for at least 72 continuous hours preceding the scheduled time of said meeting.

AGENDA

ARCHITECTURAL REVIEW BOARD MEETING City Hall, 385 South Goliad, Rockwall, Texas

Council Chambers Conference Room September 25, 2018 5:00 PM

5:00

CALL TO ORDER

ACTION ITEMS

1. SP2018-019 (David)

Discuss and consider a request by Brad Williams of Winstead PC on behalf of Andrew Malzer of Mountain Prize, Inc. for the approval of an amended site plan for a retail store with gasoline sales on a 2.46-acre parcel of land identified as Lots 1 & 2 of the Woods at Rockwall Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the Scenic Overlay (SOV) District, located at the southeast corner of the intersection of Ridge Road and Yellow Jacket Lane, and take any action necessary.

2. SP2018-023 (David)

Discuss and consider a request by Pan S. Sribhen, P. E. of PSA Engineering on behalf of Shailesh C. Vora of DFW Hospitality of Rockwall, LLC for the approval of a site plan for a hotel on a 2.111-acre tract of land identified as a portion of Lots 7 & 8, Block A, La Jolla Pointe Addition, Phase 2, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the Scenic Overlay (SOV) District and the IH-30 Overlay (IH-30 OV) District, situated south of the intersection of Carmel Circle and Laguna Drive, and take any action necessary.

3. SP2018-028 (Korey)

Discuss and consider a request by Debora Allegranti of CBOCS Texas, LLC on behalf of Eric Borkenhagen of Kohls Illinois, Inc. for the approval of a site plan for a restaurant on a 1.61-acre portion of a larger 9.0142-acre parcel of land identified as Lot 1, Block A, Rockwall Market Center East Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the IH-30 Overlay (IH-30 OV) District, situated west of the intersection of Mims Road and the frontage road for E. IH-30, and take any action necessary.

4. SP2018-029 (Korey)

Discuss and consider a request by Cameron Slown of FC Cuny Corporation on behalf of Tom Kirkland of TEKMAK Development Company for the approval of a site plan for a residence hotel on a 2.8-acre tract of land being a portion of a larger 8.613-acre tract of land Tract 4 of the J. D. McFarland Survey, Abstract No. 145, and Lot 1, Block B, Goldencrest Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the IH-30 Overlay (IH-30 OV) District, situated north of the intersection of Greencrest Boulevard and the IH-30 Frontage Road, and take any action necessary.

ADJOURNMENT

This facility is wheelchair accessible and accessible parking spaces are available. Request for accommodations or interpretive services must be made 48 hours prior to this meeting. Please contact the City Secretary's Office at (972) 772-6406 for further information.

I, Laura Morales, Planning & Zoning Coordinator of the City of Rockwall, Texas, do hereby certify that this Agenda was posted at City Hall, in a place readily accessible to the general public at all times, on the 21st day of September, 2018, by 5:00 p.m., and remained so posted for at least 72 continuous hours preceding the scheduled time of said meeting.

AGENDA ARCHITECTURAL REVIEW BOARD MEETING City Hall, 385 South Goliad, Rockwall, Texas Council Chambers Conference Room October 9, 2018 5:00 PM

CALL TO ORDER

ACTION ITEMS

1. SP2018-028 (Korey)

Discuss and consider a request by Debora Allegranti of CBOCS Texas, LLC on behalf of Eric Borkenhagen of Kohls Illinois, Inc. for the approval of a site plan for a restaurant on a 1.61-acre portion of a larger 9.0142-acre parcel of land identified as Lot 1, Block A, Rockwall Market Center East Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the IH-30 Overlay (IH-30 OV) District, situated west of the intersection of Mims Road and the frontage road for E. IH-30, and take any action necessary.

2. SP2018-029 (Korey)

Discuss and consider a request by Cameron Slown of FC Cuny Corporation on behalf of Tom Kirkland of TEKMAK Development Company for the approval of a site plan for a residence hotel on a 2.8-acre tract of land being a portion of a larger 8.613-acre tract of land Tract 4 of the J. D. McFarland Survey, Abstract No. 145, and Lot 1, Block B, Goldencrest Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the IH-30 Overlay (IH-30 OV) District, situated north of the intersection of Greencrest Boulevard and the IH-30 Frontage Road, and take any action necessary.

ADJOURNMENT

This facility is wheelchair accessible and accessible parking spaces are available. Request for accommodations or interpretive services must be made 48 hours prior to this meeting. Please contact the City Secretary's Office at (972) 772-6406 for further information.

I, Laura Morales, Planning & Zoning Coordinator of the City of Rockwall, Texas, do hereby certify that this Agenda was posted at City Hall, in a place readily accessible to the general public at all times, on the 5th day of October, 2018, by 5:00 p.m., and remained so posted for at least 72 continuous hours preceding the scheduled time of said meeting.

AGENDA

ARCHITECTURAL REVIEW BOARD MEETING

City Hall, 385 South Goliad, Rockwall, Texas Council Chambers Conference Room October 30, 2018

5:00 PM

CALL TO ORDER

ACTION ITEMS

1. SP2018-029 (Korey)

Discuss and consider a request by Cameron Slown of FC Cuny Corporation on behalf of Tom Kirkland of TEKMAK Development Company for the approval of a site plan for a residence hotel on a 2.8-acre tract of land being a portion of a larger 8.613-acre tract of land Tract 4 of the J. D. McFarland Survey, Abstract No. 145, and Lot 1, Block B, Goldencrest Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the IH-30 Overlay (IH-30 OV) District, situated north of the intersection of Greencrest Boulevard and the IH-30 Frontage Road, and take any action necessary.

2. SP2018-030 (Korey)

Discuss and consider a request by John David of Express Oil Change, LLC for the approval of a site plan for a *Minor Auto Repair Garage* (*i.e. Brakes Plus*) on a 0.656-acre tract of land being identified as Lots 1 & 2, Block A, Billy Peoples #1 Addition, City of Rockwall, Rockwall County, Texas, zoned General Retail (GR) District, situated within the SH-205 Overlay (SH-205 OV) District, addressed as 1902 & 2000 S. Goliad Street [SH-205], and take any action necessary.

3. SP2018-031 (Korey)

Discuss and consider a request by Brandon Waldrum of CEI Engineering Associates, Inc. on behalf of Kelly Cannell of Murphy Road, LTD for the approval of a site plan for a carwash in conjunction with an existing retail store with gasoline sales (*i.e.* 7/11) on a 0.996-acre tract of land being identified as a portion of Lot 2 and all of Lot 1, Block B, Horizon Ridge Center Addition, City of Rockwall, Rockwall, Texas, zoned Planned Development District 9 (PD-9) for General Retail (GR) District land uses, addressed as 3520 Horizon Road [*FM-3097*], and take any action necessary.

4. SP2018-032 (David)

Discuss and consider a request by William Salee of the Rockwall Independent School District (RISD) for the approval of a site plan for an Elementary School on a 17.2922-acre tract of land being identified as Lot 1, Block A, RISD Elementary School Addition and Tract 2-7 of the W. T. Deweese Survey, Abstract No. 71, City of Rockwall, Rockwall, Texas, zoned Planned Development District 70 (PD-70) for single family land uses, located at the southeast corner of Greenway Boulevard and FM-552, and take any action necessary.

5. SP2018-033 (David)

Discuss and consider a request by Mahbub H. Dewan of D1 Architect & Associates, Inc. on behalf of Deepak Gandhi of Rockwall Inn Keepers I, LTD for the approval of an amended site plan for a hotel on a 2.681-acre identified as Lot 1, Block A, Hyatt Rockwall Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the IH-30 Overlay (IH-30 OV) and Scenic Overlay (SOV) Districts, located at the southeast corner of the intersection of Laguna Drive and La Jolla Pointe Drive, and take any action necessary.

ADJOURNMENT

This facility is wheelchair accessible and accessible parking spaces are available. Request for accommodations or interpretive services must be made 48 hours prior to this meeting. Please contact the City Secretary's Office at (972) 772-6406 for further information.

I, Laura Morales, Planning & Zoning Coordinator of the City of Rockwall, Texas, do hereby certify that this Agenda was posted at City Hall, in a place readily accessible to the general public at all times, on the 27th day of October, 2018, by 5:00 p.m., and remained so posted for at least 72 continuous hours preceding the scheduled time of said meeting.

AGENDA ARCHITECTURAL REVIEW BOARD MEETING City Hall, 385 South Goliad, Rockwall, Texas Council Chambers Conference Room November 13, 2018 5:00 PM

CALL TO ORDER

ACTION ITEMS

1. SP2018-030 (Korey)

Discuss and consider a request by John David of Express Oil Change, LLC for the approval of a site plan for a *Minor Auto Repair Garage* (*i.e. Brakes Plus*) on a 0.656-acre tract of land being identified as Lots 1 & 2, Block A, Billy Peoples #1 Addition, City of Rockwall, Rockwall County, Texas, zoned General Retail (GR) District, situated within the SH-205 Overlay (SH-205 OV) District, addressed as 1902 & 2000 S. Goliad Street [SH-205], and take any action necessary.

2. SP2018-032 (David)

Discuss and consider a request by William Salee of the Rockwall Independent School District (RISD) for the approval of a site plan for an Elementary School on a 17.2922-acre tract of land being identified as Lot 1, Block A, RISD Elementary School Addition and Tract 2-7 of the W. T. Deweese Survey, Abstract No. 71, City of Rockwall, Rockwall, Texas, zoned Planned Development District 70 (PD-70) for single family land uses, located at the southeast corner of Greenway Boulevard and FM-552, and take any action necessary.

3. Discuss and consider a recommendation concerning the OURHometown Vision 2040 Comprehensive Plan (*i.e. 2018 Comprehensive Plan Update*) and take any action necessary.

ADJOURNMENT

This facility is wheelchair accessible and accessible parking spaces are available. Request for accommodations or interpretive services must be made 48 hours prior to this meeting. Please contact the City Secretary's Office at (972) 772-6406 for further information.

I, Laura Morales, Planning & Zoning Coordinator of the City of Rockwall, Texas, do hereby certify that this Agenda was posted at City Hall, in a place readily accessible to the general public at all times, on the 9th day of November, 2018, by 5:00 p.m., and remained so posted for at least 72 continuous hours preceding the scheduled time of said meeting.

AGENDA ARCHITECTURAL REVIEW BOARD MEETING City Hall, 385 South Goliad, Rockwall, Texas Council Chambers Conference Room November 27, 2018 5:00 PM

CALL TO ORDER

CONSENT AGENDA

1. SP2018-035 (Daniella)

Consider a request by Mike and Sonya West for the approval of a site plan converting an existing singlefamily structure into an office building on a 0.745-acre parcel of land identified as Lot 3 of the Austin Addition City of Rockwall, Rockwall County, Texas, zoned Planned Development District 50 (PD-50) for Residential-Office (RO) District land uses, situated within the N. Goliad Corridor Overlay (NGC OV) District, addressed as 912 N. Goliad Street [*SH-205*], and take any action necessary.

ACTION ITEMS

2. SP2018-036 (Korey)

Discuss and consider a request by Wayne Mershawn of Mershawn Architects on behalf Gari Foote for the approval of a site plan for an office building on a 0.26-acre portion of a larger one (1) acre tract of land identified as Block 26 of the Garner Addition, zoned Planned Development District 50 (PD-50) for Residential-Office (RO) District land uses, situated within the North Goliad Corridor Overlay (NGC OV) District, located at the northwest corner of the intersection of W. Heath Street and S. Goliad Street [*SH-205*], and take any action necessary.

3. SP2018-037 (Ryan)

Discuss and consider a request by Russell Phillips of Sterling One for the approval of a site plan for a 265 unit, condo development situated on a 7.58-acre tract of land identified as Lots 6A, 7A & 8A, Isaac Brown Addition, and a portion of Lots 3 & 4, Block 16 and Lot 4, Block 18, Moton Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 32 (PD-32), situated within the *Interior Subdistrict* of PD-32, located south of the intersection of Summer Lee Drive and Glen Hill Way, and take any action necessary.

4. SP2018-038 (Ryan)

Discuss and consider a request by Doug Galloway of Cooper General Contractors on behalf of Corey Cannon for the approval of a site plan for a craft brewery on a 1.16-acre parcel of land identified as Lot 1R of the Cain Properties #1 Addition, City of Rockwall, Rockwall County, Texas, zoned Downtown (DT) District, situated within the SH-66 Overlay (SH-66 OV) District, located north of the intersection of S. Goliad Street [SH-205] and Storrs Street, and take any action necessary.

5. SP2018-039 (David)

Discuss and consider a request by Matt Moore of Claymoore Engineering on behalf of Phil Wagner of Rockwall Economic Development Corporation (REDC) for the approval of a site plan for an industrial building on a 3.634-acre parcel of land identified as Lot 1, Block E, Rockwall Technology Park Addition, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, situated within the FM-549 Overlay (FM-549 OV) District, located at the northwest corner of the intersection of Technology Way and Observation Trail, and take any action necessary.

ADJOURNMENT

This facility is wheelchair accessible and accessible parking spaces are available. Request for accommodations or interpretive services must be made 48 hours prior to this meeting. Please contact the City Secretary's Office at (972) 772-6406 for further information.

I, Laura Morales, Planning & Zoning Coordinator of the City of Rockwall, Texas, do hereby certify that this Agenda was posted at City Hall, in a place readily accessible to the general public at all times, on the 21st day of November, 2018, by 5:00 p.m., and remained so posted for at least 72 continuous hours preceding the scheduled time of said meeting.

AGENDA ARCHITECTURAL REVIEW BOARD MEETING City Hall, 385 South Goliad, Rockwall, Texas Council Chambers Conference Room December 11, 2018 5:00 PM

CALL TO ORDER

ACTION ITEMS

1. SP2018-036 (Korey)

Discuss and consider a request by Wayne Mershawn of Mershawn Architects on behalf Gari Foote for the approval of a site plan for an office building on a 0.26-acre portion of a larger one (1) acre tract of land identified as Block 26 of the Garner Addition, zoned Planned Development District 50 (PD-50) for Residential-Office (RO) District land uses, situated within the North Goliad Corridor Overlay (NGC OV) District, located at the northwest corner of the intersection of W. Heath Street and S. Goliad Street [*SH-205*], and take any action necessary.

2. SP2018-037 (Ryan)

Discuss and consider a request by Russell Phillips of Sterling One for the approval of a site plan for a 265 unit, condo development situated on a 7.58-acre tract of land identified as Lots 6A, 7A & 8A, Isaac Brown Addition, and a portion of Lots 3 & 4, Block 16 and Lot 4, Block 18, Moton Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 32 (PD-32), situated within the *Interior Subdistrict* of PD-32, located south of the intersection of Summer Lee Drive and Glen Hill Way, and take any action necessary.

ADJOURNMENT

This facility is wheelchair accessible and accessible parking spaces are available. Request for accommodations or interpretive services must be made 48 hours prior to this meeting. Please contact the City Secretary's Office at (972) 772-6406 for further information.

I, Laura Morales, Planning & Zoning Coordinator of the City of Rockwall, Texas, do hereby certify that this Agenda was posted at City Hall, in a place readily accessible to the general public at all times, on the 7th day of December, 2018, by 5:00 p.m., and remained so posted for at least 72 continuous hours preceding the scheduled time of said meeting.

AGENDA ARCHITECTURAL REVIEW BOARD MEETING City Hall, 385 South Goliad, Rockwall, Texas Council Chambers Conference Room June 26, 2018 5:00 PM

CALL TO ORDER

ACTION ITEMS

1. Election of a Chair and Vice Chair (Ryan)

Discuss and consider the election of a chair and vice chair in accordance Section 13.4, *Officers*, of Article II, *Authority and Administrative Procedures*, of the Unified Development Code, and take any action necessary.

2. SP2018-014 (Korey)

Discuss and consider a request by Wayne Mershawn of Mershawn Architects on behalf of Jeff Johnston of Woodhill Dental for the approval of a site plan for a medical office building on a 0.85-acre parcel of land identified as Lot 12, Block 2, Alliance Addition, Phase 2, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 57 (PD-57) for Commercial (C) District land uses, addressed as 149 H. Wallace Lane, and take any action necessary.

3. SP2018-016 (David)

Discuss and consider a request by Wayne Mershawn of Mershawn Architects on behalf of Clay Shipman for the approval of a site plan for an office building on a 1.28-acre parcel of land identified as Lot 3, Block A, La Jolla Pointe Addition, Phase 2, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, located on La Jolla Pointe drive northeast of the intersection La Jolla Pointe Drive and Laguna Drive, and take any action necessary.

4. SP2018-017 (Ryan)

Discuss and consider a request by Cameron Slown of FC Cuny Corporation on behalf of Phillip McNeill of Summer Lee Rockwall, LLC for the approval of a site plan for a hotel on a 2.12-acre tract of land identified as portions of Lot 2A, Isaac Brown Addition and Lot 2, Block A, Harbor Village Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 32 (PD-32), situated within the Scenic Overlay (SOV) District and the Interior and Residential Subdistricts of Planned Development District 32 (PD-32), located adjacent to Summer Lee Drive southwest of the intersection of Horizon Road [FM-3097] and Summer Lee Drive, and take any action necessary.

5. SP2018-018 (Ryan)

Discuss and consider a request by David Osborn pf Rack Partners, LTD for the approval of a site plan for an industrial building on a 1.50-acre tract of land identified as Tract 2-16 of the J. R. Johnson Survey, Abstract No. 128, City of Rockwall, Rockwall County, Texas, zoned Heavy Commercial (HC) District, addressed as 125 National Drive, and take any action necessary.

ADJOURNMENT

This facility is wheelchair accessible and accessible parking spaces are available. Request for accommodations or interpretive services must be made 48 hours prior to this meeting. Please contact the City Secretary's Office at (972) 772-6406 for further information.

I, Laura Morales, Planning & Zoning Coordinator of the City of Rockwall, Texas, do hereby certify that this Agenda was posted at City Hall, in a place readily accessible to the general public at all times, on the 22nd day of June, 2018, by 5:00 p.m., and remained so posted for at least 72 continuous hours preceding the scheduled time of said meeting.

CITY OF ROCKWALL PLANNING AND ZONING COMMISSION MEMO

AGENDA DATE:	06/26/2018

APPLICANT: Wayne Mershawn; Mershawn Architects

AGENDA ITEM: SP2018-014; Woodhill Dental

SUMMARY:

Discuss and consider a request by Wayne Mershawn of Mershawn Architects on behalf of Jeff Johnston of Woodhill Dental for the approval of a site plan for a medical office building on a 0.85-acre parcel of land identified as Lot 12, Block 2, Alliance Addition, Phase 2, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 57 (PD-57) for Commercial (C) District land uses, addressed as 149 H. Wallace Lane, and take any action necessary.

PURPOSE AND BACKGROUND:

The applicant is requesting approval of a site plan for a dentist office [*i.e. Woodhill Dental*]. The proposed dentist office will be situated on a 0.85-acre tract of land [*i.e. Lot 12, Block 2, Alliance Addition*]. The subject property is zoned Planned Development District 57 (PD-57) for Commercial (C) District land uses and is addressed as 149 H. Wallace Lane.

On August 16, 2004, the City Council adopted Ordinance No. 04-48, establishing the development requirements for Planned Development District 57 (PD-57), which allows a *medical office building* by-right. As a condition of approval, each building throughout the development shall be constructed with a consistent design scheme and materials approved by the Architectural Review Board (ARB). In this case, the building materials are consistent with the other buildings in the development [*e.g. Alliance III, Alliance V, and Alliance VI*], however, those buildings are constructed utilizing a green metal pitched roof system. Since the proposed dental office is larger than 6,000 SF, the building is not required to be constructed of a pitched roof system according to Planned Development 57 (PD-57), however, this building will be the only building in the development that utilizes a flat roof system.

DENSITY AND DIMENSIONAL REQUIREMENTS:

According to Section 1, *Land Use Schedule*, of Article IV, *Permissible Uses*, of the Unified Development Code (UDC), the proposed use [*i.e. a medical office building*] is permitted by-right in Planned Development District 57 (PD-57). The submitted site plan, landscape plan, photometric plan, and building elevations conform to the technical requirements contained within the Unified Development Code (UDC) with the exception of the items listed in the *Variances* section of this case memo. A summary of the density and dimensional requirements of the subject property is as follows:

Ordinance Provisions	Zoning District Standards	Conformance to the Standards
Minimum Lot Area	10,000 SF	X~37,312 SF; In Conformance
Minimum Lot frontage	60-Feet	X~120-Feet; In Conformance
Minimum Lot Depth	100-Feet	X~310Feet; In Conformance
Minimum Front Yard Setback	15-Feet	X~15-Feet; In Conformance
Minimum Rear Yard Setback	10-Feet	X~15-Feet; In Conformance
Minimum Side Yard Setback	0-Feet ¹	X~5-Feet; In Conformance
Maximum Building Height	240-Feet ²	X~20-Feet; In Conformance
Max Building/Lot Coverage	60%	X=17%; In Conformance
Minimum Masonry Requirement	90%	X= 100%; In Conformance
Minimum Number of Parking Spaces	32	32 Provided; In Conformance
Minimum Stone Requirement (SH205 OV)	20% ea facade	X<20%; In Conformance

Ordinance Provisions	Zoning District Standards	Conformance to the Standards
Minimum Landscaping Percentage	15%	X=45%; In Conformance
Maximum Impervious Coverage	85-90%	X=55%; In Conformance

NOTES: 1. With fire retardant wall. 2. Any structure over 60-feet shall require a Specific Use Permit (SUP).

VARIANCES:

Based on the applicant's submittal, staff has identified the following variances:

- A) General Commercial (C) District Standards.
 - a. *Building Articulation*. According to Subsection C.1.A, *Horizontal Articulation*, of Section 4.1, *General Commercial District Standards*, of Article V, *District Development Standards*, of the Unified Development Code (UDC) no building wall shall extend for a distance equal to three (3) times the wall's height without having an offset of 25% of the wall's height, and that new plane shall extend for a distance equal to at least 25% of the maximum length of the first plane. In this case, the applicant is not providing any offsets on the north and east elevations (*i.e. side elevations*).
 - b. Building Articulation. According to Subsection C.1.B, Vertical Articulation, of Section 4.1 General Commercial District Standards, of Article V, District Development Standards, of the Unified Development Code (UDC) no horizontal wall shall extend for a greater distance than three (3) times the height of the wall without a change in height by a minimum of 25% (*i.e. five (5) feet*) of the wall's height. In this case, the applicant is not providing a change in height of the building façade of five (5) feet, however, is providing a change in height of two (2) feet to provide articulation.

All variances will require a simple majority vote of the City Council members present to be approved.

ARCHITECTURAL REVIEW BOARD

On May 29, 2018 the Architectural Review Board (ARB) reviewed the proposed building elevations and requested that the applicant make revisions to the building elevations to be more consistent with the existing buildings in the development and to provide additional vertical and horizontal articulation on the building façade. The applicant submitted revisions, however, did not provide additional vertical and/or horizontal articulation to the building façades. On June 12, 2018, the ARB was unable to establish a quorum and the Planning and Zoning Commission tabled the case. The revisions to this case will be reviewed prior to the Planning and Zoning Commission meeting on June 26, 2018 by the ARB.

RECOMMENDATIONS:

If the Planning & Zoning Commission chooses to approve the applicant's request then staff would recommend the following conditions of approval:

- 1) All comments provided by the Planning, Engineering and Fire Department must be addressed prior to the submittal of a building permit;
- 2) Any construction or building necessary to complete this Site Plan request must conform to the requirements set forth by the UDC, Planned Development District 57 (PD-57), the International Building Code, the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

City of Rockwall

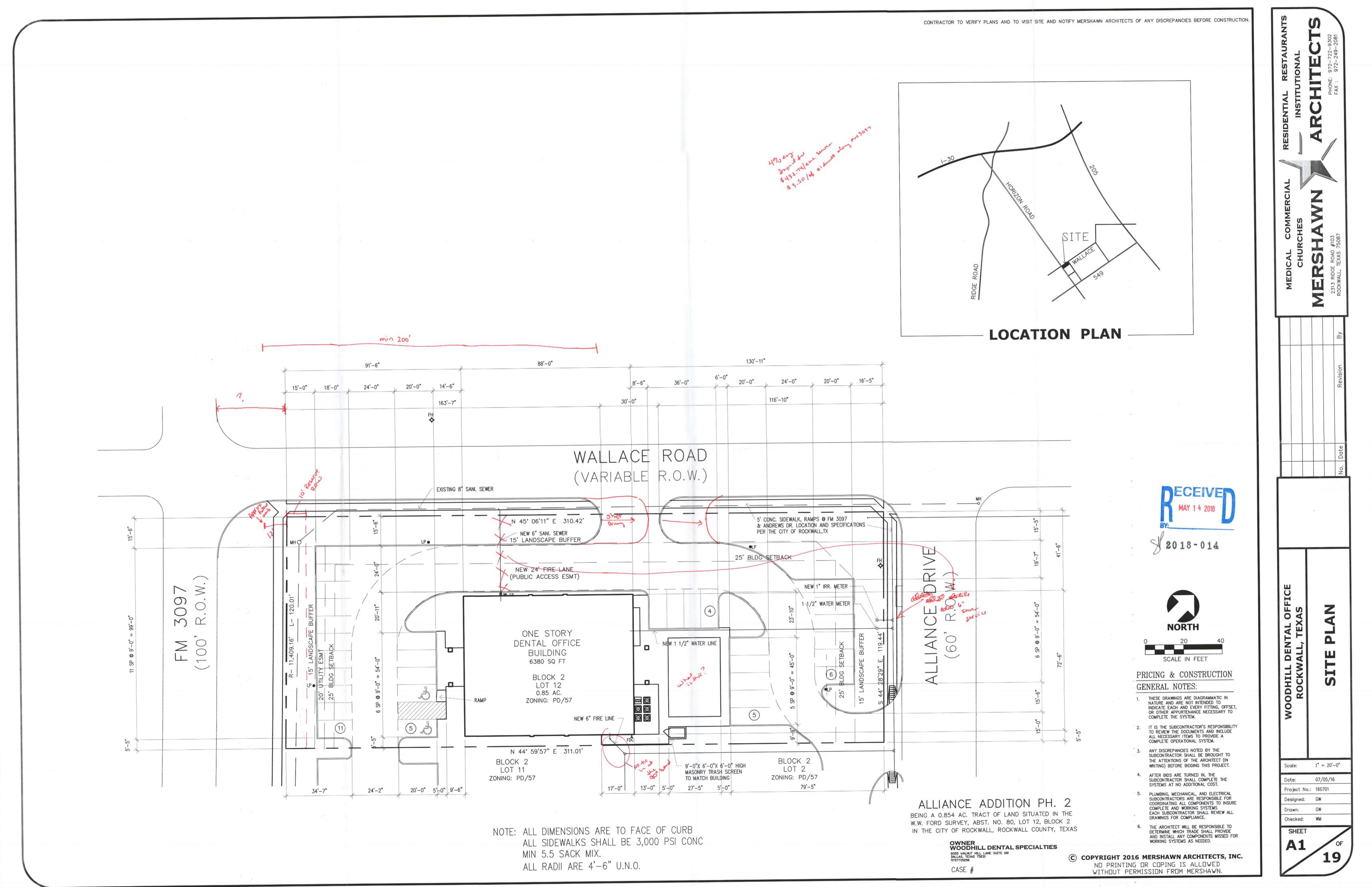


Project Plan Review History

Type Subtype Status	SP2018-014 Woodhill Dental SITE PLAN Staff Review		Owne Appli		VALL, RENTAL PRO E MERSHAWN	PERTIES LP	Approved Closed Expired Status	
	Stall Review							
Site Address 6519 HORIZON R	D	City, State Zi ROCKWALL,					Zoning	
Subdivision ALLIANCE ADDITI	ON PH 2	Tract 1		Block 2	Lot No 12	Parcel No 3039-0002-0001-00-0	General Plan)R	
Type of Review / N	lotes Contact	Sent	Due	Received	Elapsed Status		Remarks	
BUILDING	John Ankrum	5/14/2018	5/21/2018					
6" sewer servi Reserve 10' of Don't tie in the What is the se 4% engineerin Impact fees. \$432.74/acres	Amy Williams 1:25 AM SH) I' spacing between FM 3097 ice to move to the NE corne f ROW along FM 3097. 12' fro e fire line at a 90* angle. econdary smaller building to ng fees required. sewer pro-rata. dewalk along FM 3097.	(new curb)and t r with the wate om current prop	r service con perty line wil	eway and 100' b nection. Existin l be the future o	g sewer stubout ex	way and Alliance Drive (s	See Comments ee markup).	
FDC must be v	Ariana Hargrove 06 PM AA) acing and visible from the fi within 100-feet of a fire hydr lear and unobstructed with	re lane. ant.	5/21/2018 5-feet clear		4 COMMI		see comments	
GIS (5/24/2018 11 Address Assign	Lance Singleton 1:17 AM LS)	5/14/2018	5/21/2018	5/24/2018	10 APPROV 9 COMMI	/ED	See Comments	

pe of Review / Notes	Contact	Sent D	Due	Received	Elapsed Status	Remarks
SP2018-014 Site Pla	an for Woodhill Denta	al: Please address th	ne followi	ng comments (M= Mandatory Commer	nts; I = Informational Comments)
building on a 0.85-a	acre parcel of land ide	entified as Lot 12, B	lock 2, All	iance Addition,	Phase 2, City of Rockwa	Dental for the approval of a site plan for a medical office Ill, Rockwall County, Texas, zoned Planned Development
	for Commercial (C) Di					ant at (072) 772 6424 ar amail khraaks@rackwall.com
					orner of all pages on futu	ent at (972) 772-6434 or email kbrooks@rockwall.com.
						o allow for the future expansion of FM 3097.
	se dimension all walls			andscape burie		
	se show distance from	-	to the hu	uilding for each	sida	
	se dimension a typica		to the bu	inding for each	side.	
	Please hatch firelane		, material	l and denth		
	Please provide paving		-			
	Please show centerlin	-		and Alliance D	rive	
	Please note that rear					
	Please add note to du					
	Please note that the r					
	Please indicate screer					
	What is the rectangle	• •				
	Please hatch sidewalk	-	0			
M.19 Site Plan. I	Please review the PD-	-57 standards, as th	is building	g does not seen	n to follow the theme of	f theothers.
M.20 Site Plan. I	Please note, the setba	ack along Wallace R	Road and <i>i</i>	- Alliance Drive is	s 15-feet. This lot has tri	ple frontage. The front yard setback is 15-feet for a
Commercial (C) Dis	trict. The 25-foot set	back adjacent to FN	/I 3097 is o	correct because	e you will need to reserv	e 10-feet for future expansion.
M.21 Site Plan. I	Please provide square	e footage of the site	e next to t	the acreage that	t is shown within the foo	otprint of the building.
M.22 Site Plan. I	Please provide site da	ata table as shown o	on the sub	bmitted Landsc	ape Plan.	
M.23 Site Plan. I	Please note that the r	required parking is	31 spaces.			
M.24 Landscape	e Plan. Please see PD-	-57 requirements fo	or living so	creen adjacent t	to Wallace Lane.	
M.25 Landscape	e Plan. Please show a	nd label easements	5.			
M.26 Landscape I	Plan. Please show cer	nterline for all adja	cent road	ways		
M.27 Photomet	ric Plan. Please darke	en property line on	photome	tric plan.		
	ric Plan. Please provi					
					d downward with a part	ial or full cutoff
	ric Plan. Please provi				lan.	
	ric Plan. Please provi					
	ric Plan. Please show		-	•		
-				-		me of the existing buildings.
-	-			-	ract windows and doors	
-	levations. Please indi			s the street.		
-	levations. Please pro				6	
			this will r	need a variance	e for vertical and horizon	ntal articulation. Please see the vertical and horizontal
	ements for Commerci					
M.38 Building E	levations. If the build	ang elevations are s	scalable, p	bleaseprovide s	cale.	

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
I.39 The Architectu	ral Review Board (AF	(RB) meeting for	this case w	ill be held on May	29, 2018 at 5:00 p.m.	
I.40 Staff has identi	fied the aforemention	oned items nece	essary to co	ontinue the submit	tal process. Please make	e these revisions and corrections, and provide any
additional informat	ion that is requested	d. Revisions for	this case w	ill be due on June	5, 2018. The Planning a	nd Zoning Worksession for this case will be May 29, 2018,
at 6:00 p.m. The Pl	anning and Zoning N	leeting will be J	une 12, 201	18. A representativ	ve is required to attend	all meetings.
I.41If necessary the	e projected City Cou	ncil meeting da	te for this c	ase will be June 18	3, 2018.	







City of Rockwall

Planning & Zoning Department 385 S. Goliad Street Rockwall, Texas 75032 (P): (972) 771-7745 (W): www.rockwall.com The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





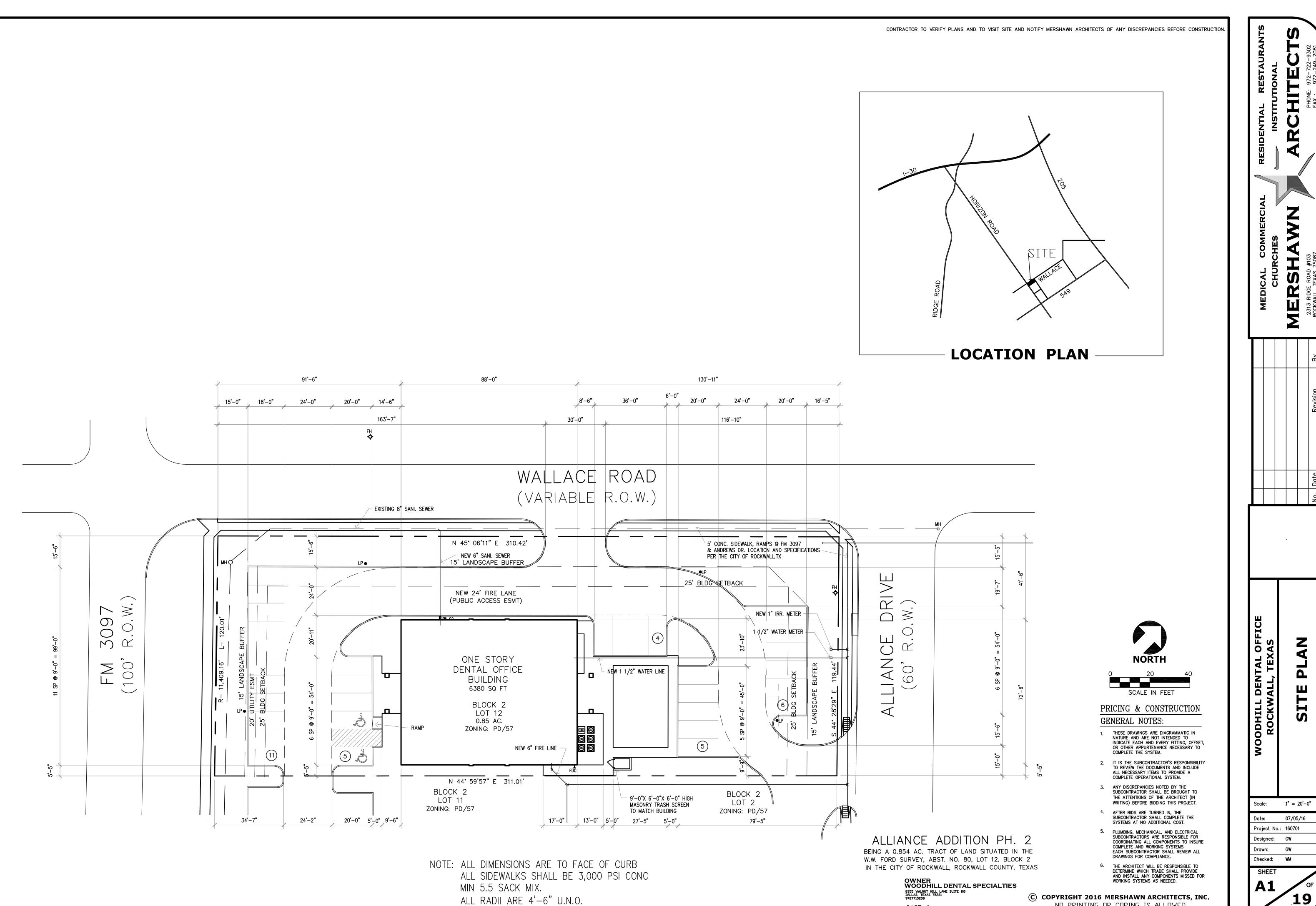
City of Rockwall Planning Department May 30, 2018

LETTER OF VARIANCE

We respectfully request a variance for the Woodhill Dental Project (SP2018-014)

- The 15' additional landscape buffer for the expansion of FM 3097 In order to align with the adjacent fire lane and parking with the three other buildings fronting FM 3097 and maintain a consistency.
- 2. Building articulation

Due to the fire lane being shifted back into our lot and the additional firelane along Wallace Road, the property has lost width and does not allow us to provide the articulation on the north and south walls. We have maintained the design intent as much as allowed with the space to work with.



C COPYRIGHT 2016 MERSHAWN ARCHITECTS, INC. NO PRINTING OR COPING IS ALLOWED WITHOUT PERMISSION FROM MERSHAWN.

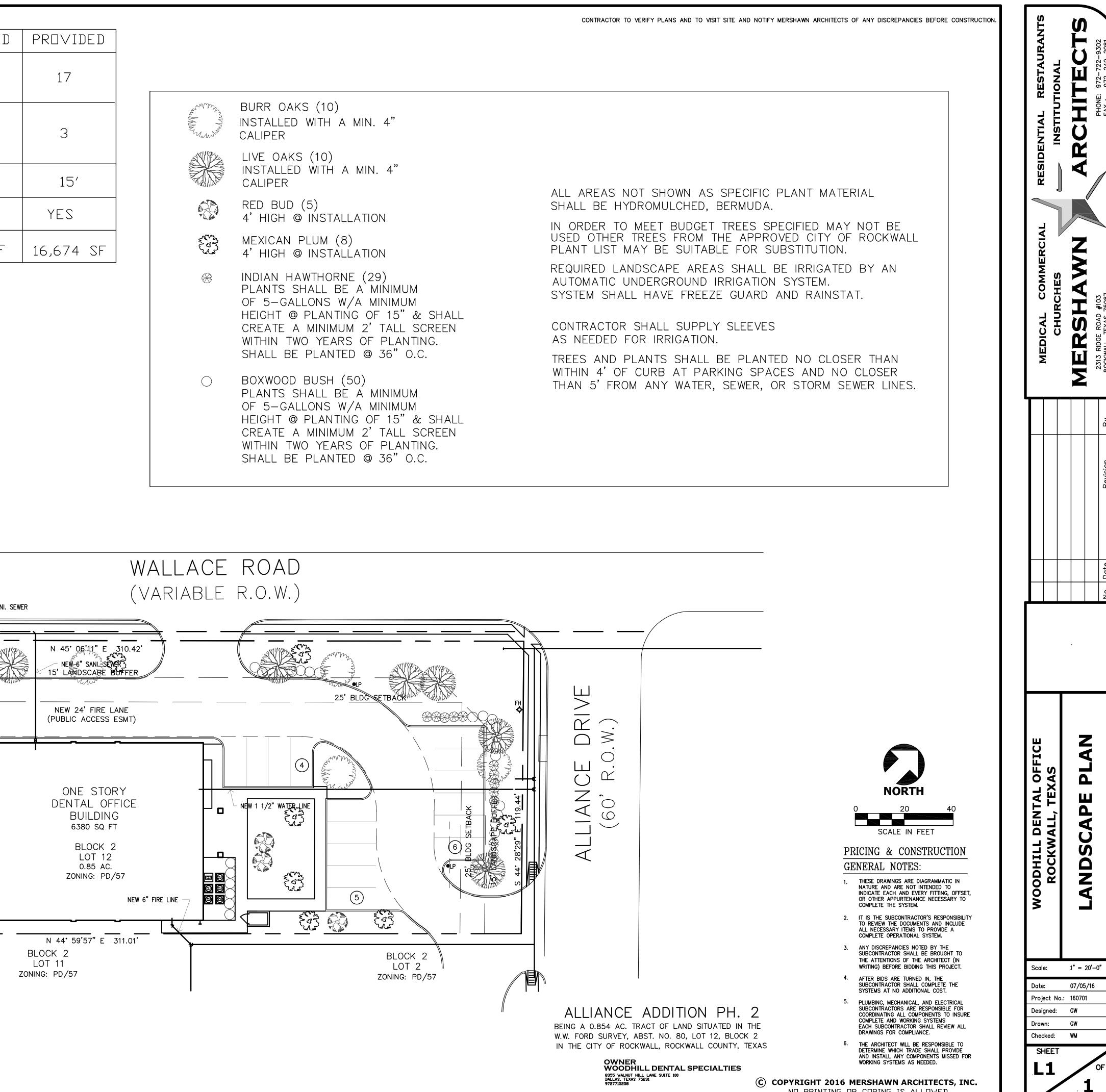
PLAN

SITE

CASE #

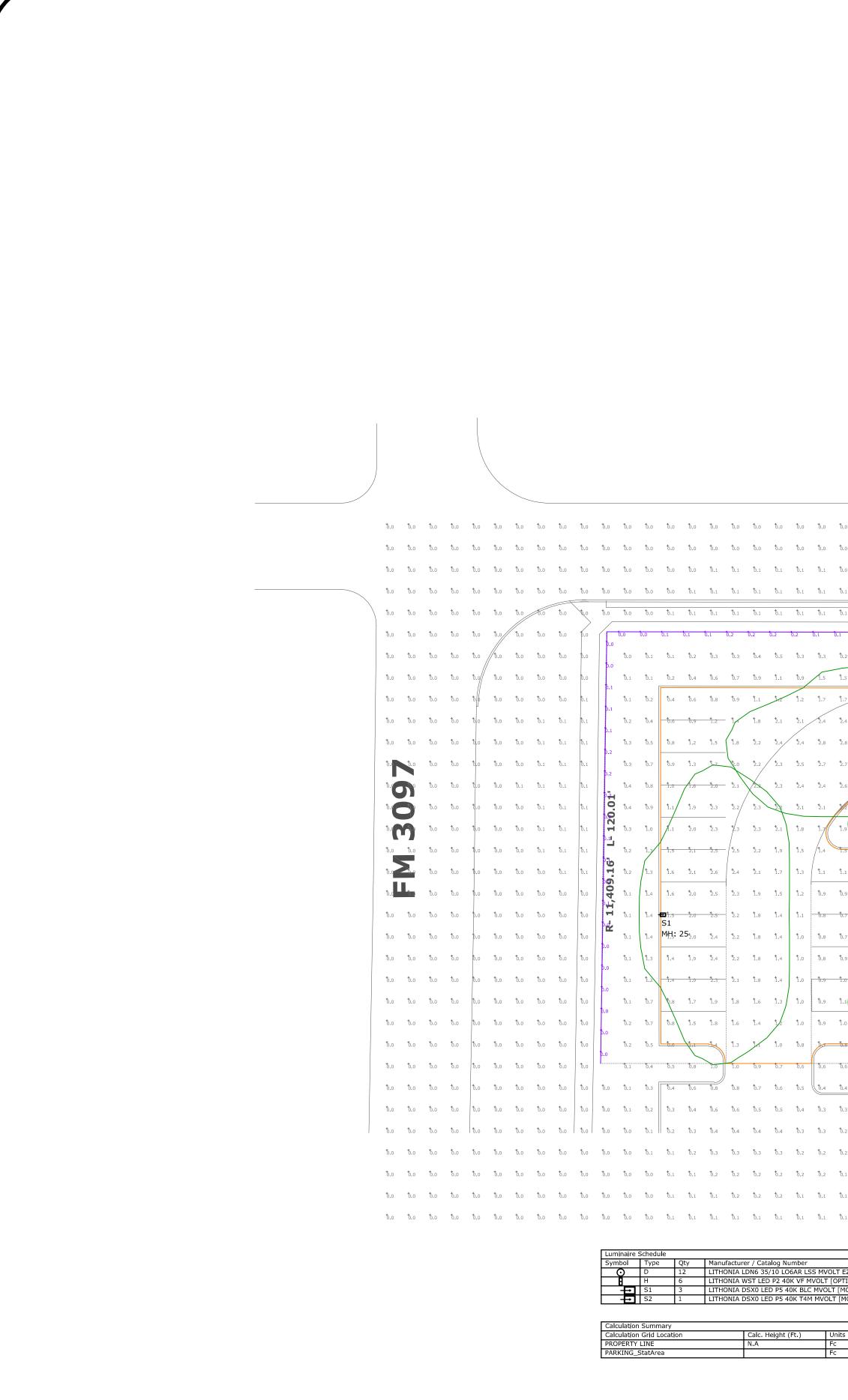
REQUIRE STREET TREES 17 3 CANDPY DR 4 ACCENT PER 100' 2. SITE TREES - ONE TREE W/ A CALIPER OF AT LEAST 2" FOR EACH 20,000 SF OF PARKING. З 1 PER EVERY TEN REQ. PARKING SPACES 15′ LANDSCAPE BUFFER З. YES SCREENING OF OFF STREET PARKING 5. TOTAL LANDSCAPE AREA 20% REQUIRED 7,414 SF LOT 12, BLOCK 2 - WOODHILL DENTAL SPECIALTIES 8355 WALNUT HILL LANE #100 DALLAS, TX (972)771-5258 1. ZONING: PD-57 - BUSINESS OCCUPANCY 2. PROPOSED USE: DENTAL OFFICE 3. PROPERTY AREA (GROSS): 37,070 SF 0.85 AC 4. BUILDING AREA: 6,380 SF 5. BUILDING HEIGHT: SINGLE STORY - 19'-6" 6. LOT COVERAGE: 17.2% F.A.R. = 0.017:1 7. PARKING REQUIRED: DENTAL: 1 SPACE/200 SF 5,427 SF/200 = 27 SPACES REQUIRED OFFICE: 1 SPACE/300 SF 760 SF/300 = 2.5 SPACES REQUIRED STORAGE:1 SPACE/500 SF 193 SF/500 = 0.4 SPACES REQUIRED 8. HANDICAP REQUIRED 2 ACCESSIBLE 25-50 SPACES 2 ACCESSIBLE PROVIDED 9. TOTAL PARKING PROVIDED: 30 SPACES 10. TOTAL SQUARE FOOTAGE OF IMPERVIOUS SURFACE: 20,396 SF FH **¢** EXISTING 8" SANI. SEWER \frown , , \sim 60 \bigcirc \cong \mathbb{N} - $\sum_{i=1}^{i} 0$ $\overline{}$ \smile 5

				CONTRACTOR
ΞD	PROVIDED			
	17			
	3	Mar Marine	BURR OAKS (10) INSTALLED WITH A MIN. 4" CALIPER	
	15′		LIVE OAKS (10) INSTALLED WITH A MIN. 4" CALIPER	ALL AREAS
	YES		RED BUD (5) 4' HIGH @ INSTALLATION	SHALL BE FIN ORDER T
F	16,674 SF		MEXICAN PLUM (8) 4' HIGH @ INSTALLATION	USED OTHER PLANT LIST
			INDIAN HAWTHORNE (29) PLANTS SHALL BE A MINIMUM OF 5-GALLONS W/A MINIMUM HEIGHT @ PLANTING OF 15" & SHALL CREATE A MINIMUM 2' TALL SCREEN WITHIN TWO YEARS OF PLANTING. SHALL BE PLANTED @ 36" O.C. BOXWOOD BUSH (50) PLANTS SHALL BE A MINIMUM OF 5-GALLONS W/A MINIMUM HEIGHT @ PLANTING OF 15" & SHALL CREATE A MINIMUM 2' TALL SCREEN WITHIN TWO YEARS OF PLANTING. SHALL BE PLANTED @ 36" O.C.	REQUIRED L AUTOMATIC SYSTEM SHA CONTRACTO AS NEEDED TREES AND WITHIN 4' C THAN 5' FR



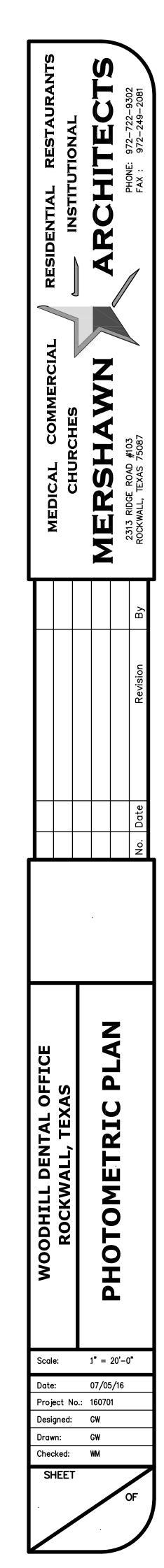
CASE #

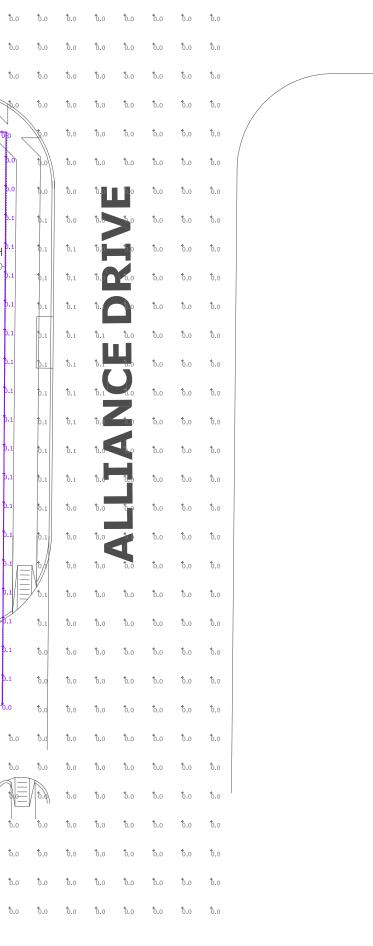
NO PRINTING OR COPING IS ALLOWED WITHOUT PERMISSION FROM MERSHAWN.

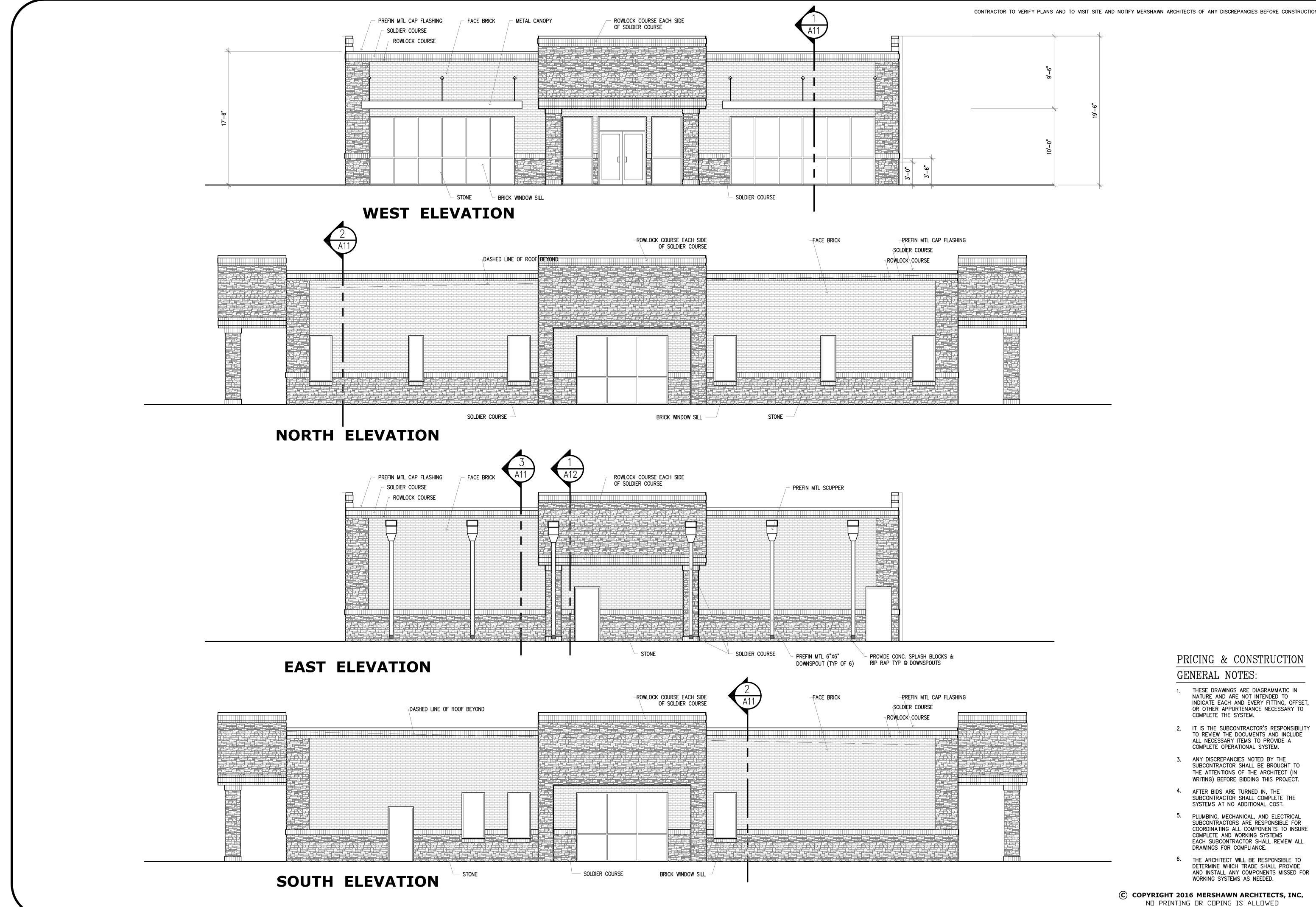


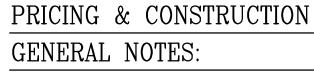
		DUVD						
t.o	b.o the tan		0.5 0.6 0.5 0.5 0.6 0.	t.o t.o t.o t.o	t.o t.o t.o t.o	ზ.o ზ.o ზ.d	.0 *0.0 *0.0	°.0 °.0
t.o	°.0 °.0 °.0 °.0	°.0 °.0 °.0 °.0 °.0 °.0	.0	°0.0 °0.0 °0.0 °0.0	°.0 °.0 °.0 °.0	°.0 °.0 °.0	.0 ზ.0 ზ.0	ð.o ð.o
· o.đ	t.o t.o t.o t.o	t.o t.o t.o t.o t.o t.o	.0 5.0 5.0 5.0 5.0 5.0	t.o t.o t.o t.o	t.o t.o t.o	t.o t.o t.a	.0 *0.0 *0.0	°.0 °.0
b.1 b.1 b.1 b.0	t.o t.o t.o t.o	t.o t.o t.o t.o to	.0 0.0 0.0 0.0 0.0 0.0	to.o to.o to.o to.o	t.o t.o t.o t.o	°.0 °.0 °.0	.0 ზ.0 ზ.0	ð.o ð.o
b.1	°0.1 °0.1 °0.1 °0.1	\$0 \$.0 \$.0 \$.0 \$.0 \$.0 ზ.0 ზ.0 ზ.0 ზ.0 ზ.0	t.o t.o t.o t.o	5.0 5.0 5.8 5.0	t.o t.o t.o	.0 ზ.0 ზ.0	ზ.o ზ.o
b.1	1 0.1 0.1 0.1 0	/ b.1 b.1 b.1 b.1 b.0 b.1	b.1 b.1 b.1 b.1 b.1 b.1	0.1 0.1 0.0 0.0		<u></u>	0.0 0.0 0.0	t.o t.o /
b.2 b.2 b.2 b.2 b.2 b.3 b.5 b.5 b.4 b.3 b.3 b.2 b.2 b.2 b.2 b.3 b.3 b.3	t.3 t.3 t.3 t.3	t.3 t.3 t.2 t.1 t.1 t	.1 0.1 0.1 0.2 0.2 0.3 0.3	t.2 t.2 t.1 t.1	t.o t.o t.o .o	t.o t.o t.o	.0 ზ.0 ზ.0	t.o t.o
1.5 1.6 1.6 1.6 1.2 1.3 1.2 b.9 b.7 b.5 b.4 b.3 b.3 b.4 b.5 b.6 b.6 .	t.6 t.6 t.6 t.7	5. 1.0 5.9 1.4 1.4 1	.5 1.5 1.4 1.4 0.8 0.9 0.7	to.6 to.4 to.3 to.2	°0.1 °0.1 °0.0 0.0	t.o t.o to.	o <u>b</u> .o [*] o.o	t.o t.o
1.7 1.7 1.8 1.9 2.0 1.8 1.9 1.9 1.5 1.1 b.8 b.6 b.5 b.7 b.9 1.2 1.3 MH: 25	1.2 1.1 t.9 t.9	1.0 1.0 1.1 1.5 1.5 1	⁶ MH: 25	°0.7 °0.6 °0.5 °0.3	°0.2 °0.1 °0.1 0.1	\$.1 \$.0 \$.		°.0 °.0
2.4 2.4 2.5 2.6 3.0 3.2 3.6 3.5 x7 18 1.2 0.8 0.7 0.7 1.0 1.6 2.2 2.4	2.1 TY 1.4 1.4	1.7 1.9 2.0 2.2 2.2 2		1.1 b.8 b.7 b.4	^{₺.3} ^{₺.2} ^{₺.1} FH	\$.1 \$.1 \$.	. . . t.o	t.o t.o
NEW 24' FIRE LANE 2.8 2.9 3.0 3.2 3.8 3.8 4.8 3.6 (PUBLIC ACCESS ESMT) 2.1 3.1 3.5	2.9 2.0 1.9 1.8	2.1 2.3 2.2 2.5 2.5 2	.5 \$.5 \$.6 \$.6 \$.1 \$.1	1.4 1.1 b .8 b .6	b.4 b.2 b.2 b.1	b.1 b.1 b.	. <u>0.</u> 0 t.0	t.o t.o
2.7 2.9 3.2 5.5 4.2 5.7 6.1 4.7 2.8 6.8 • 14. • 4.8 • 1.8 1.5 2.6 4.4 5.1	5 .7 2 .3 2 .4 2 .1	t.2 t.2 t.3 t.3 t.3 t.3 t.	.3 \$.3 \$.3 \$.4 \$.2 \$.9 \$.7	*.4 1.1 0.9 0.6	°.4 °.3 °.2 0.1	\$.1 * 0.1 * 0.1	. .	t.o t.o
2.6 2.9 3.4 3.9 4.0 BU MA: 119M: 119 U	2.5 2.6	2.4 2.2 2.1 2.0 1.9	.9 \$2.0 \$.0 \$.0 \$.8 \$.5	1.3 1.1 0.9 0.6	°0.4 °0.3 °0.2 0.1	p.1 b.1 b.1	.1 5 .0 5 .0	t.o t.o
MH: 15 MH: 11	5	2.7 2.1 1.7 1.5 1.5 1	.5 1.5 1.6 1.6 1.6 1.4	1.2 1.0 0.9 0.6	°.3 °.3 °.2 ^{0.1}	<u>b.1</u> 0.1 0.1		t.o t.o
1.9 2.6 3.6 4.7 5.4 L	a 5 .3 5 .9	2.9 ¹ .0 ¹ .4 ¹ .2 ¹ .1 ¹	.1 1.2 1.3 1 1.4 1.4 1.4	1.2 1.1 0.9 0.6	°.3 °.2 °.2 °.1	b.1 b.1 b.1	O .0 b .0	t.o t.o
MH: 15	H MH:1415 3.2	2.5 1 .6 1 .1 0 .9 0 .8 0	.9 1.0 1.1 1.2 1.2 1.3 1.3	1.2 1.1 1.0 D.6	°.3 °.2 °.2 ^{0.1}	b.1 b.1 b.1		t.o t.o
	MIN 440 3.2							
UNL STORT	*4.3 \$2.5	17 1.2 0.8 0.6 0.6 to	7 0.8 0.9 1.0 1.1 1.3	1.2 1.1 1.0 0.6	b.3 b.2 b. T 0.1	b.1 b.1 b.1		t.o t.o
				1.2 1.1 1.0 0.6 1.3 1.2 1. 0.8		b.1 b.1 b.1 b.1		t.o t.o
1.1 1.8 2.9 4.0 b.9 b.9 1.3 6.4 • 10.8 D 6380 SO FT	4.3 5.5 11.0 530 D	1.7 1.2 5.8 5.6 5.6 5 1.1 5.8 5.6 5.5 5	.5 0.7 0.9 1.0 1.1 1.3 1.4	1.3 1.2 1.5 0.8	5.4 5.2 5.1 5.1		. t.o	t.o t.o
1.1 1.8 2.9 1.0 DENTAL OFFICE b.9 b.9 1.3 6.4 10.8 b.7 b.8 1.0 0 6.4 b.7 b.8 1.0 0 6.4 b.7 b.8 1.0 0 6.4 b.7 b.8 1.0 0 0 b.7 b.8 0 0 0	*4.3 *2.5 •11.0 *30 D •11.1 •19.3 D	1.7 1.2 5.8 5.6 5 1.1 5.8 5.6 5.5 5 t.9 5.7 5.5 5.4 5.4	.5 <u>b.7 b.9 1.0</u> <u>1.1 1.3 1.4</u> .5 <u>b.7 b.8 1.0</u> <u>1.2 1.4 1.5</u>	1.3 1.2 1.5 1.4 1.3 0.9	ъ. ъ. ъ. ъ. ъ. ъ. т. т. т. т. т. т. т. т	b.1 b.0 b.0	.0 t.0 t.0	ზ.0 ზ.0 ზ.0 ზ.0
1.1 1.8 2.9 4.0 b.9 b.9 1.3 6.4 • 10.8 b.7 b.8 1.2 0 0 b.7 b.8 1.2 1.0 0	*4.3 *2.5 •11.0 *30 D •11.1 •10 •11.1 •1	1.7 1.2 5.8 5.6 5.6 1.1 5.8 5.6 5.5 5 t.9 5.7 5.5 5.4 5.4 1.0 5.7 5.5 5.3 5.3	.5 b.7 b.9 1.0 1.1 1.3 1.4 .5 b.7 b.8 1.0 1.2 1.4 1.5 .4 b.6 b.8 1.0 1.2 1.4 1.6	1.3 1.2 1.4 0.8 1.5 1.4 1.3 0.9 1.8 1.7 1.7 1.1	b.4 b.2 b.1 b.5 b.3 b.2			b.o b.o b.o b.o b.o b.o
1.1 1.8 2.9 4.0 b.9 b.9 1.3 6.4 • 10.8 b.7 b.8 1.2 • 0 0 b.9 1.3 - 0 - 0 - 0 b.7 b.8 1.2 • 0 - 0 b.9 - 1.3 - 1.1 - 0 b.9 - 1.3 - 1.1 - 0 b.9 - 1.3 - 1.1 - 0	*4.3 *2.5 •11.0 *30 •11.0 *30	1.7 1.2 5.8 5.6 5.6 5 1.1 5.8 5.6 5.5 5 5 1.9 5.7 5.5 5.4 5.4 5 1.0 5.7 5.5 5.3 5.3 5 1.4 5.9 5.5 5.3 5.3 5	.5 b.7 b.9 1.0 1.1 1.3 1.4 .5 b.7 b.8 1.0 1.2 1.4 1.5 .4 b.6 b.8 1.0 1.2 1.4 1.6 .4 b.6 b.8 1.0 1.2 1.4 1.6	1.3 1.2 1.4 0.8 1.5 1.4 1.3 0.9 1.8 1.7 1.7 1.1	base b.2 b.1	b.1 b.0 b.0 b.1 b.0 b.0		b.o b.o b.o b.o b.o b.o b.o b.o
1.1 1.8 2.9 4.0 b.9 b.9 1.3 6.4 • 10.8 0 0 6.4 • 10.8 0 0 0 6.6 • 10.8 0 0 0 6.6 • 10.9 0 0 0 -6 • 10.9 0 0 0 -6 • 10.9 0 0 0 -7 0.8 1.2 -8.8 • 0.11 0 0 -7 0.8 1.2 -8.8 • 0.11 0 0 -7 0.8 1.2 -8.8 • 0.11 0 0 -7 0.8 1.2 -8.8 • 0.11 0 0 -7 0.8 1.2 -8.0 • 0.0	14.3 2.5 →11.0 510 D →11.0 19.3 D →11.0 19.3 D →11.0 19.3 D →11.1 19.1 →11.1 19.1 19.1 →11	1.7 1.2 5.8 5.6 5.6 5 1.1 5.8 5.6 5.5 5 1.9 5.7 5.5 5.4 5.4 1.0 5.7 5.5 5.3 5.3 1.4 5.9 5.5 5.3 5.3 2.0 1.1 5.6 5.4 5.4	$\begin{array}{c ccccccccccccccccccccccccccccccccccc$	1.3 1.2 1. 0.8 1.5 1.4 1.3 0.9 1.8 1.7 1.7 1.1 1.9 1.9 1.9 1.9 1.9 1.9 1.9 1.9 1.9 1.9 1.9 1.9 1.9 1.8 1.7 25	b.a b.z b.1	b.1 b.0 b.0		b.o b.o b.o b.o b.o b.o b.o b.o b.o b.o b.o b.o
1.1 1.8 2.9 1.0 b.9 b.9 1.3 6.4 1.08 b.7 b.8 1.2 1.0 b.9 1.3 6.4 1.0 b.7 b.8 1.2 1.0 b.9 1.3 1.1 MH 1.0 1.5 1.3 1.1 1.1 1.1 1.1 1.1 1.1 1.8 1.8 1.8	*4.3 *2.5 •11.0 *30 •11.0 *30	1.7 1.2 5.8 5.6 5.6 5 1.1 5.8 5.6 5.5 5 5 1.9 5.7 5.5 5.4 5.4 5 1.0 5.7 5.5 5.3 5.3 5 1.4 5.9 5.5 5.3 5.3 5 2.0 1.1 5.6 5.4 5.3 5 2.0 1.1 5.6 5.4 5.3 5 2.2 1.2 5.6 5.4 5.3 5	$\begin{array}{c ccccccccccccccccccccccccccccccccccc$	1.3 1.2 1. 0.8 1.5 1.4 1.3 0.9 1.8 1.7 1.7 1.1 1.9 1.9 1.9 1.9 1.9 1.9 1.9 1.9 1.9 1.9 1.9 1.4 1.9 1.9 1.9 1.1 1.9 1.6 1.6 1	b.a b.z b.1	b.1 b.0 b.0		b.o b.o
1.1 1.1 1.8 2.9 4.0 b.9 b.9 1.3 6.4 • 1.0.6 0 0 6.6 • 1.0.6 0 b.7 b.8 1.2 - 1.0 0 b.9 1.3 - 6.6 • 1.0.6 0 b.7 b.8 1.2 - 8.8 • MH : 10 - - - - - 1.0 - - - - 1.1 1.8 8.8 5.8 - 1.0 - - - -	14.3 2.5 11.0 510 D MH: 19.3 MH: 19.1 MH:	1.7 1.2 5.8 5.6 5.6 5 1.1 5.8 5.6 5.5 5 5 1.1 5.8 5.6 5.5 5 5 1.1 5.8 5.6 5.5 5 5 1.1 5.8 5.6 5.5 5 5 1.9 5.7 5.5 5.3 5.3 5 1.0 5.7 5.5 5.3 5.3 5 1.4 5.9 5.5 5.3 5.3 5 2.0 1.1 5.6 5.4 5.3 5 2.2 1.2 5.6 5.4 5.3 5 1.8 1.0 5.5 5.3 5.3 5	$\begin{array}{c ccccccccccccccccccccccccccccccccccc$	1.3 1.2 1. 0.8 1.5 1.4 1.3 0.9 1.8 1.7 1.7 1.1 1.9 1.9 1.9 1.9 1.9 1.9 1.9 1.9 1.9 1.9 1.9 1.4 1.7 1.6 1.6 1 1.4 1.3 1.2 0.4	b.a b.z b.1 b.4 b.z b.1 b.4 b.z b.1	b.1 b.0 b.1		b.o b.o
1.1 1.1 1.8 2.9 1.0 b.9 b.9 1.3 6.4 1.0.8 b.7 b.8 0 6.4 1.0.8 b.7 b.8 1.2 1.8 0 b.9 1.5 5.2 1.6 0 b.9 1.5 5.2 1.6 0 b.9 1.5 5.2 1.6 0 b.9 1.6 1.9 2.4 0	*4.3 *2.5 •11.0 *30 •11.0 *30	1.7 1.2 5.8 5.6 5.6 5 1.1 5.8 5.6 5.5 5 5 1.1 5.8 5.6 5.5 5 5 1.1 5.8 5.6 5.5 5 5 1.1 5.8 5.6 5.5 5 5 1.9 5.7 5.5 5.3 5.3 5 1.0 5.7 5.5 5.3 5.3 5 1.4 5.9 5.5 5.3 5.3 5 2.0 1.1 5.6 5.4 5.3 5 2.2 1.2 5.6 5.4 5.3 5 1.8 1.0 5.5 5.3 5.3 5	$\begin{array}{c ccccccccccccccccccccccccccccccccccc$	1.3 1.2 1. 0.8 1.5 1.4 1.3 0.9 1.8 1.7 1.7 1.1 1.9 1.9 1.9 1.9 1.9 1.9 1.9 1.9 1.9 1.9 1.9 1.4 1.9 1.9 1.9 1.1 1.9 1.6 1.6 1	b.a b.z b.1	b.1 b.0 b.1 b.0 b.0 b.1	b.0 b.0	b.o b.o
1.1 1.1 1.4 2.9 4.0 b.9 b.9 b.4 c.0 D b.7 b.8 c.6 0 b.7 b.8 c.6 0 b.9 c.6 0 0 b.6 0.8 0 0 b.6 0.8 0 0 b.6 0.8 0 0 b.6 0.8 0 0	14.3 2.5 11.0 510 D MH: 19.3 MH: 19.1 MH:	1.7 1.2 5.8 5.6 5.6 5 1.1 5.8 5.6 5.5 5 5 1.1 5.8 5.6 5.5 5 5 1.1 5.8 5.6 5.5 5 5 1.1 5.8 5.6 5.5 5 5 1.9 5.7 5.5 5.3 5.3 5 1.0 5.7 5.5 5.3 5.3 5 1.4 5.9 5.5 5.3 5.3 5 2.0 1.1 5.6 5.4 5.3 5 2.2 1.2 5.6 5.4 5.3 5 1.8 1.0 5.5 5.3 5.3 5	$\begin{array}{c ccccccccccccccccccccccccccccccccccc$	1.3 1.2 1. 0.8 1.5 1.4 1.3 0.9 1.8 1.7 1.7 1.1 1.9 1.9 1.9 1.9 1.9 1.9 1.9 1.9 1.9 1.9 1.9 1.4 1.7 1.6 1.6 1 1.4 1.3 1.2 0.4	b.a b.z b.1 b.4 b.z b.1 b.4 b.z b.1	b.1 b.0 b.1	b.0 b.0	b.o b.o
1.1 1.1 1.8 2.9 1.0 b.9 b.9 1.3 6.4 1.08 b.7 b.8 1.2 b.8 0 b.9 1.5 1.3 1.4 1.6 b.9 1.5 1.4 1.6 1.4 b.9 1.5 1.9 2.4 1.0	14.3 2.5 11.0 510 D MH: 19.3 MH: 19.1 MH:	1.7 1.2 5.8 5.6 5.6 5 1.1 5.8 5.6 5.5 5 5 1.1 5.8 5.6 5.5 5 5 1.1 5.8 5.6 5.5 5 5 1.1 5.8 5.6 5.5 5 5 1.9 5.7 5.5 5.3 5.3 5 1.0 5.7 5.5 5.3 5.3 5 1.4 5.9 5.5 5.3 5.3 5 2.0 1.1 5.6 5.4 5.3 5 2.2 1.2 5.6 5.4 5.3 5 1.8 1.0 5.5 5.3 5.3 5	$\begin{array}{c ccccccccccccccccccccccccccccccccccc$	1.3 1.2 1. 0.8 1.5 1.4 1.3 0.9 1.8 1.7 1.7 1.1 1.9 1.9 1.9 1.9 1.9 1.9 1.9 1.1 1.9 1.9 1.9 1.1 1.9 1.9 1.9 1.1 1.9 1.9 1.9 1.1 1.1 1.0 1.2 1.1 1.2 1.1 1.0 0.7	b.a b.z b.1 b.a b.3 b.2 b.4 b.2 b.1 b.4 b.2 b.1 b.4 b.2 b.1 b.4 b.2 b.1 b.1 b.1	b.1 b.0 b.0 b.0 b.0 b.0 b.0 b.0 b.0 b.0 b.0 b.0	0 0.0 0.0 0 0.0 0.0 0 0.0 0.0 0 0.0 0.0 0 0.0 0.0 0 0.0 0.0 0 0.0 0.0 0 0.0 0.0 0 0.0 0.0 0 0.0 0.0 0 0.0 0.0	b.o b.o
1.1 1.1 1.4 2.9 4.0 b.9 b.9 b.4 c.0 D b.7 b.8 c.6 0 b.7 b.8 c.6 0 b.9 c.6 0 0 b.6 0.8 0 0 b.6 0.8 0 0 b.6 0.8 0 0 b.6 0.8 0 0	14.3 2.5 11.0 510 D MH: 19.3 MH: 19.1 MH:	1.7 1.2 5.8 5.6 5.6 5 1.1 5.8 5.6 5.5 5 5 1.1 5.8 5.6 5.5 5 5 1.1 5.8 5.6 5.5 5 5 1.1 5.8 5.6 5.5 5 5 1.9 5.7 5.5 5.3 5.3 5 1.0 5.7 5.5 5.3 5.3 5 1.4 5.9 5.5 5.3 5.3 5 2.0 1.1 5.6 5.4 5.3 5 2.2 1.2 5.6 5.4 5.3 5 1.8 1.0 5.5 5.3 5.3 5	$\begin{array}{c ccccccccccccccccccccccccccccccccccc$	1.3 1.2 1. 0.8 1.5 1.4 1.3 0.9 1.8 1.7 1.7 1 1.9 1.9 1.9 1.9 1.9 1.9 1.9 1.1 1.9 1.9 1.9 1.1 1.9 1.9 1.9 1.1 1.9 1.9 1.9 1.1 1.9 1.9 1.9 1.1 1.9 1.9 1.9 1.1 1.9 1.9 1.9 1.1 1.9 1.9 1.9 1.1 1.9 1.1 1.0 5.7 1.7 1.6 1.6 1 1.4 1.3 1.2 0.7 0.9 0.9 0.8 0.5	b.a b.2 b.1 b.4 b.2 b.1 b.4 b.2 b.1 b.4 b.2 b.1 b.1 b.1 b.3 b.1 b.1 b.1 b.1	b.1 b.0 b.0 b.0 b.0 b.0	0 0.0 0.0 0 0.0 0.0 0 0.0 0.0 0 0.0 0.0 0 0.0 0.0 0 0.0 0.0 0 0.0 0.0 0 0.0 0.0 0 0.0 0.0 0 0.0 0.0 0 0.0 0.0	b.o b.o
1.1 1.1 1.0 2.9 3.0 h.9 h.9 h.3 6.4 • 1.0 h.7 h.8 1.0 1.0 0 6 • 1.1 h.9 h.9 h.3 6.4 • 1.0 0 6 • 1.1 0.0 0	14.3 2.5 11.0 510 D MH: 19.3 MH: 19.1 MH:	1.7 1.2 5.8 5.6 5.6 5 1.1 5.8 5.6 5.5 5 5 1.1 5.8 5.6 5.5 5 5 1.1 5.8 5.6 5.5 5 5 1.1 5.8 5.6 5.5 5 5 1.9 5.7 5.5 5.3 5.3 5 1.0 5.7 5.5 5.3 5.3 5 1.4 5.9 5.5 5.3 5.3 5 2.0 1.1 5.6 5.4 5.3 5 2.2 1.2 5.6 5.4 5.3 5 1.8 1.0 5.5 5.3 5.3 5	$\begin{array}{c ccccccccccccccccccccccccccccccccccc$	1.3 1.2 1. 0.8 1.5 1.4 1.3 0.9 1.8 1.7 1.7 1 1.9 1.9 1.9 1.1 1.9 1.9 1.9 1.1 1.9 1.9 1.9 1.1 1.9 1.9 1.9 1.1 1.9 1.9 1.9 1.1 1.9 1.9 1.9 1.1 1.9 1.9 1.9 1.1 1.9 1.9 1.9 1.1 1.9 1.9 1.1 1.0 1.7 1.6 1.6 1 1.4 1.3 1.2 0.1 1.2 1.1 1.0 0.7 0.9 0.9 0.8 0.5 0.8 0.8 0.7 0.4 0.7 0.6 0.6 0.3	b.a b.z b.1 b.1 b.a b.2 b.1 b.1 b.a b.3 b.2 b.1 b.a b.3 b.1 b.1 b.5 b.3 b.1 b.1 b.4 b.2 b.1 b.1 b.4 b.2 b.1 b.1 b.4 b.2 b.1 b.1 b.3 b.1 b.1 b.1 b.2 b.1 b.1 b.1 b.0 b.1 b.1 b.0 b.0	b.1 b.0 b.1 b.0 b.0 b.1	0 0.0 0.0 0 0.0 0.0 0 0.0 0.0 0 0.0 0.0 0 0.0 0.0 0 0.0 0.0 0 0.0 0.0 0 0.0 0.0 0 0.0 0.0 0 0.0 0.0 0 0.0 0.0 0 0.0 0.0 0 0.0 0.0 0 0.0 0.0	b.o b.o
1.1 1. 1.8 2.9 1.0 b.9 b.9 1.3 6.4 0.10.4 b.7 b.8 0 6.4 0.10.4 b.7 b.8 1.2 b.8 0.0 1.6 0 0.1 0 0.0 0.0 0.0 0.0 0.0 0.0 0.0 0.0	14.3 2.5 11.0 510 D MH: 19.3 MH: 19.1 MH:	1.7 1.2 5.8 5.6 5.6 5 1.1 5.8 5.6 5.5 5 5 1.1 5.8 5.6 5.5 5 5 1.1 5.8 5.6 5.5 5 5 1.1 5.8 5.6 5.5 5 5 1.9 5.7 5.5 5.3 5.3 5 1.0 5.7 5.5 5.3 5.3 5 1.4 5.9 5.5 5.3 5.3 5 2.0 1.1 5.6 5.4 5.3 5 2.2 1.2 5.6 5.4 5.3 5 1.8 1.0 5.5 5.3 5.3 5	$\begin{array}{c ccccccccccccccccccccccccccccccccccc$	1.3 1.2 1. 0.8 1.5 1.4 1.3 0.9 1.8 1.7 1.7 1.1 1.9 1.9 1.9 1.9 1.9 1.9 1.9 1.9 1.9 1.9 1.9 1.9 1.9 1.9 1.9 1.9 1.9 1.9 1.9 1.9 1.9 1.9 1.9 1.9 1.1 1.6 1.1 1.4 1.3 1.2 1.2 1.1 1.0 0.7 0.9 0.9 0.8 0.5 0.8 0.7 0.4 0.7 0.6 0.6 0.3 0.5 0.5 0.4 0.3	b. b.2 b.1 b.1 b. b.2 b.1 b.1 b. b.2 b.1 b.1 b. b.2 b.1 b.1 b. b.3 b.2 b.1 b. b.3 b.2 b.1 b.5 b.3 b.2 b.1 b.4 b.2 b.1 b.1 b.2 b.1 b.1 b.1 b.2 b.1 b.1 b.0 b.0 b.1 b.1 b.0 b.0 b.0	b.1 b.0 b.1 b.0 b.0 b.1	0 0.0 0.0 0.0 0 0.0 0.0 0.0 0 0.0 0.0 0.0 0 0.0 0.0 0.0 0 0.0 0.0 0.0 0 0.0 0.0 0.0 0 0.0 0.0 0.0 0 0.0 0.0 0.0 0 0.0 0.0 0.0 0 0.0 0.0 0.0 0 0.0 0.0 0.0 0 0.0 0.0 0.0 0 0.0 0.0 0.0	b.o b.o
1.1 1.1 1.4 1.9 1.0 1.4 1.0 1	14.3 2.5 11.0 510 D MH: 19.3 MH: 19.1 MH:	1.7 1.2 5.8 5.6 5.6 5 1.1 5.8 5.6 5.5 5 5 1.1 5.8 5.6 5.5 5 5 1.1 5.8 5.6 5.5 5 5 1.1 5.8 5.6 5.5 5 5 1.9 5.7 5.5 5.3 5.3 5 1.0 5.7 5.5 5.3 5.3 5 1.4 5.9 5.5 5.3 5.3 5 2.0 1.1 5.6 5.4 5.3 5 2.2 1.2 5.6 5.4 5.3 5 1.8 1.0 5.5 5.3 5.3 5	$\begin{array}{c ccccccccccccccccccccccccccccccccccc$	1.3 1.2 1. 0.8 1.5 1.4 1.3 0.9 1.8 1.7 1.7 1.1 1.9 1.9 1.9 1.9 1.9 1.9 1.9 1.9 1.9 1.9 1.9 1.9 1.9 1.9 1.9 1.9 1.9 1.9 1.9 1.9 1.9 1.9 1.9 1.9 1.1 1.6 1.1 1.4 1.3 1.2 1.2 1.1 1.0 0.7 0.9 0.9 0.8 0.5 0.8 0.7 0.4 0.7 0.6 0.6 0.3 0.5 0.5 0.4 0.3	b b.2 b.1 b.1 b b.3 b.7 b.1 b.5 b.3 b.7 b.1 b.4 b.2 b.1 b.1 b.4 b.2 b.1 b.1 b.4 b.2 b.1 b.1 b.3 b.1 b.1 b.1 b.3 b.1 b.1 b.1 b.2 b.1 b.1 b.1 b.2 b.1 b.1 b.1 b.2 b.1 b.1 b.1 b.0 b.1 b.0 b.0 b.0 b.0 b.1 b.0 b.0 b.0 b.0	b.1 b.0 b.1 b.0 b.0 b.0 b.0 b.0 b.1 b.1 b.0 b.1	0 0.0 0.0 0.0 0 0.0 0.0 0.0 0 0.0 0.0 0.0 0 0.0 0.0 0.0 0 0.0 0.0 0.0 0 0.0 0.0 0.0 0 0.0 0.0 0.0 0 0.0 0.0 0.0 0 0.0 0.0 0.0 0 0.0 0.0 0.0 0 0.0 0.0 0.0 0 0.0 0.0 0.0 0 0.0 0.0 0.0	b.o b.o
1.1 1.2 1.0 2.0 1.0 0 <th< th=""><th>14.3 2.5 11.0 510 D MH: 19.3 MH: 19.1 MH: 19.1 MH:</th><th>1.7 1.2 5.8 5.6 5.6 5 1.1 5.8 5.6 5.5 5 5 1.1 5.8 5.6 5.5 5 5 1.1 5.8 5.6 5.5 5 5 1.1 5.8 5.6 5.5 5 5 1.9 5.7 5.5 5.3 5.3 5 1.0 5.7 5.5 5.3 5.3 5 1.4 5.9 5.5 5.3 5.3 5 2.0 1.1 5.6 5.4 5.3 5 2.2 1.2 5.6 5.4 5.3 5 1.8 1.0 5.5 5.3 5.3 5</th><th>$\begin{array}{c ccccccccccccccccccccccccccccccccccc$</th><th>1.3 1.2 1. 0.8 1.5 1.4 1.3 0.9 1.8 1.7 1.7 1.1 1.9 1.9 1.9 1.9 1.9 1.9 1.9 1.9 1.9 1.9 1.9 1.9 1.9 1.9 1.9 1.9 1.9 1.9 1.9 1.9 1.9 1.9 1.9 1.9 1.1 1.6 1.1 1.4 1.3 1.2 1.2 1.1 1.0 0.7 0.9 0.9 0.8 0.5 0.8 0.7 0.4 0.7 0.6 0.6 0.3 0.5 0.5 0.4 0.3</th><th>b b.2 b.1 b.1 b b.3 b.7 b.1 b.5 b.3 b.7 b.1 b.4 b.2 b.1 b.1 b.4 b.2 b.1 b.1 b.4 b.2 b.1 b.1 b.3 b.1 b.1 b.1 b.3 b.1 b.1 b.1 b.2 b.1 b.1 b.1 b.2 b.1 b.1 b.1 b.2 b.1 b.1 b.1 b.0 b.1 b.0 b.0 b.0 b.0 b.1 b.0 b.0 b.0 b.0</th><th>b.1 b.0 b.1 b.1 b.0 b.1 b.0 b.0 b.0 b.0 b.0 b.1 b.1 b.0 b.1</th><th>b.o b.o 0 b.o</th><th>b.o b.o b.o b.o</th></th<>	14.3 2.5 11.0 510 D MH: 19.3 MH: 19.1 MH:	1.7 1.2 5.8 5.6 5.6 5 1.1 5.8 5.6 5.5 5 5 1.1 5.8 5.6 5.5 5 5 1.1 5.8 5.6 5.5 5 5 1.1 5.8 5.6 5.5 5 5 1.9 5.7 5.5 5.3 5.3 5 1.0 5.7 5.5 5.3 5.3 5 1.4 5.9 5.5 5.3 5.3 5 2.0 1.1 5.6 5.4 5.3 5 2.2 1.2 5.6 5.4 5.3 5 1.8 1.0 5.5 5.3 5.3 5	$\begin{array}{c ccccccccccccccccccccccccccccccccccc$	1.3 1.2 1. 0.8 1.5 1.4 1.3 0.9 1.8 1.7 1.7 1.1 1.9 1.9 1.9 1.9 1.9 1.9 1.9 1.9 1.9 1.9 1.9 1.9 1.9 1.9 1.9 1.9 1.9 1.9 1.9 1.9 1.9 1.9 1.9 1.9 1.1 1.6 1.1 1.4 1.3 1.2 1.2 1.1 1.0 0.7 0.9 0.9 0.8 0.5 0.8 0.7 0.4 0.7 0.6 0.6 0.3 0.5 0.5 0.4 0.3	b b.2 b.1 b.1 b b.3 b.7 b.1 b.5 b.3 b.7 b.1 b.4 b.2 b.1 b.1 b.4 b.2 b.1 b.1 b.4 b.2 b.1 b.1 b.3 b.1 b.1 b.1 b.3 b.1 b.1 b.1 b.2 b.1 b.1 b.1 b.2 b.1 b.1 b.1 b.2 b.1 b.1 b.1 b.0 b.1 b.0 b.0 b.0 b.0 b.1 b.0 b.0 b.0 b.0	b.1 b.0 b.1 b.0 b.0 b.0 b.0 b.0 b.1 b.1 b.0 b.1	b.o b.o 0 b.o	b.o b.o
1.1 1.2 1.0 2.0 1.0 0 <th< th=""><th>14.3 2.5 11.0 510 D MH: 19.3 MH: 19.1 MH: 19.1 MH:</th><th>1.7 1.2 5.8 5.6 5.6 5 1.1 5.8 5.6 5.5 5 5 1.1 5.8 5.6 5.5 5 5 1.1 5.8 5.6 5.5 5 5 1.1 5.8 5.6 5.5 5 5 1.9 5.7 5.5 5.3 5.3 5 1.0 5.7 5.5 5.3 5.3 5 1.4 5.9 5.5 5.3 5.3 5 2.0 1.1 5.6 5.4 5.3 5 2.2 1.2 5.6 5.4 5.3 5 1.8 1.0 5.5 5.3 5.3 5</th><th>$\begin{array}{c ccccccccccccccccccccccccccccccccccc$</th><th>1.3 1.2 1. 0.8 1.5 1.4 1.3 0.9 1.8 1.7 1.7 1.1 1.9 1.9 1.9 1.9 1.9 1.9 1.9 1.9 1.9 1.9 1.9 1.9 1.9 1.9 1.9 1.9 1.9 1.9 1.9 1.9 1.9 1.9 1.9 1.9 1.1 1.6 1.1 1.4 1.3 1.2 1.2 1.1 1.0 0.7 0.9 0.9 0.8 0.5 0.8 0.7 0.4 0.7 0.6 0.6 0.3 0.5 0.5 0.4 0.3</th><th>b b.2 b.1 b.1 b b.3 b.7 b.1 b.5 b.3 b.7 b.1 b.4 b.2 b.1 b.1 b.4 b.2 b.1 b.1 b.4 b.2 b.1 b.1 b.3 b.1 b.1 b.1 b.3 b.1 b.1 b.1 b.2 b.1 b.1 b.1 b.2 b.1 b.1 b.1 b.2 b.1 b.1 b.1 b.0 b.1 b.0 b.0 b.0 b.0 b.1 b.0 b.0 b.0 b.0</th><th>b.1 b.0 b.1 b.1 b.0 b.1 b.0 b.0 b.0 b.0 b.0 b.1 b.1 b.0 b.1</th><th>b.o b.o b.o b.o </th><th>b.o b.o b.o b.o</th></th<>	14.3 2.5 11.0 510 D MH: 19.3 MH: 19.1 MH:	1.7 1.2 5.8 5.6 5.6 5 1.1 5.8 5.6 5.5 5 5 1.1 5.8 5.6 5.5 5 5 1.1 5.8 5.6 5.5 5 5 1.1 5.8 5.6 5.5 5 5 1.9 5.7 5.5 5.3 5.3 5 1.0 5.7 5.5 5.3 5.3 5 1.4 5.9 5.5 5.3 5.3 5 2.0 1.1 5.6 5.4 5.3 5 2.2 1.2 5.6 5.4 5.3 5 1.8 1.0 5.5 5.3 5.3 5	$\begin{array}{c ccccccccccccccccccccccccccccccccccc$	1.3 1.2 1. 0.8 1.5 1.4 1.3 0.9 1.8 1.7 1.7 1.1 1.9 1.9 1.9 1.9 1.9 1.9 1.9 1.9 1.9 1.9 1.9 1.9 1.9 1.9 1.9 1.9 1.9 1.9 1.9 1.9 1.9 1.9 1.9 1.9 1.1 1.6 1.1 1.4 1.3 1.2 1.2 1.1 1.0 0.7 0.9 0.9 0.8 0.5 0.8 0.7 0.4 0.7 0.6 0.6 0.3 0.5 0.5 0.4 0.3	b b.2 b.1 b.1 b b.3 b.7 b.1 b.5 b.3 b.7 b.1 b.4 b.2 b.1 b.1 b.4 b.2 b.1 b.1 b.4 b.2 b.1 b.1 b.3 b.1 b.1 b.1 b.3 b.1 b.1 b.1 b.2 b.1 b.1 b.1 b.2 b.1 b.1 b.1 b.2 b.1 b.1 b.1 b.0 b.1 b.0 b.0 b.0 b.0 b.1 b.0 b.0 b.0 b.0	b.1 b.0 b.1 b.0 b.0 b.0 b.0 b.0 b.1 b.1 b.0 b.1	b.o b.o b.o b.o	b.o b.o b.o b.o

					Total Lumen Output	Total Input Watts	Light Loss Factor	User Defined Factor
LT EZ1	WL				1029	12.75	0.808	1.000
OPTION	IS] [FINISH	1]			3470	25	0.808	1.000
T [MOUI	NTING] [FI	NISH]			9575	89	0.808	1.000
T [MOU	NTING] HS	[FINISH]			8873	89	0.808	1.000
Jnits	Avg	Max	Min	Avg/Min				
Jnits c	Avg 0.09	Max 0.2	Min 0.0	Avg/Min N.A.				










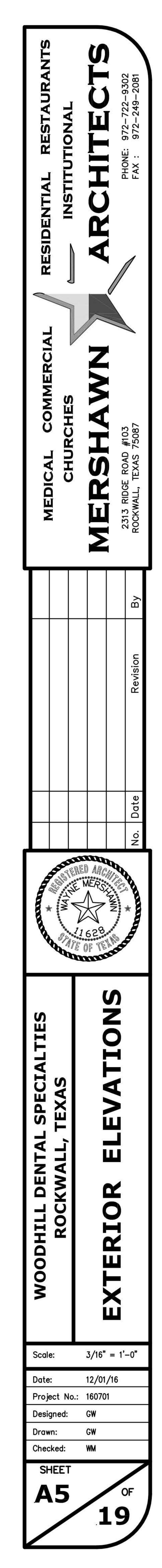
- THESE DRAWINGS ARE DIAGRAMMATIC IN NATURE AND ARE NOT INTENDED TO 1 INDICATE EACH AND EVERY FITTING, OFFSET, OR OTHER APPURTENANCE NECESSARY TO COMPLETE THE SYSTEM.
- 2. IT IS THE SUBCONTRACTOR'S RESPONSIBILITY TO REVIEW THE DOCUMENTS AND INCLUDE ALL NECESSARY ITEMS TO PROVIDE A COMPLETE OPERATIONAL SYSTEM.
- ANY DISCREPANCIES NOTED BY THE 3. SUBCONTRACTOR SHALL BE BROUGHT TO THE ATTENTIONS OF THE ARCHITECT (IN WRITING) BEFORE BIDDING THIS PROJECT.
- 4. AFTER BIDS ARE TURNED IN, THE SUBCONTRACTOR SHALL COMPLETE THE SYSTEMS AT NO ADDITIONAL COST.
- 5. PLUMBING, MECHANICAL, AND ELECTRICAL SUBCONTRACTORS ARE RESPONSIBLE FOR COORDINATING ALL COMPONENTS TO INSURE COMPLETE AND WORKING SYSTEMS EACH SUBCONTRACTOR SHALL REVIEW ALL DRAWINGS FOR COMPLIANCE.
- 6. THE ARCHITECT WILL BE RESPONSIBLE TO DETERMINE WHICH TRADE SHALL PROVIDE AND INSTALL ANY COMPONENTS MISSED FOR WORKING SYSTEMS AS NEEDED.

© COPYRIGHT 2016 MERSHAWN ARCHITECTS, INC. NO PRINTING OR COPING IS ALLOWED WITHOUT PERMISSION FROM MERSHAWN,

AN UR ľ TIAL RESIDEN COMMERCIAL CHFe MEDICAL CHURG Ц Σ S Ζ HILL DENTAL SPECIALTIES ROCKWALL, TEXAS OI ĹЦ Ш 2 RIO 000 ш X ш Scale: 3/16" = 1'-0"Date: 12/01/16 Project No.: 160701 Designed: GW Drawn: GW Checked: WM SHEET **A5** 19







CONTRACTOR TO VERIFY PLANS AND TO VISIT SITE AND NOTIFY MERSHAWN ARCHITECTS OF ANY DISCREPANCIES BEFORE CONSTRUCTION.

PRICING & CONSTRUCTION

GENERAL NOTES:

- THESE DRAWINGS ARE DIAGRAMMATIC IN NATURE AND ARE NOT INTENDED TO INDICATE EACH AND EVERY FITTING, OFFSET, OR OTHER APPURTENANCE NECESSARY TO COMPLETE THE SYSTEM.
- IT IS THE SUBCONTRACTOR'S RESPONSIBILITY TO REVIEW THE DOCUMENTS AND INCLUDE ALL NECESSARY ITEMS TO PROVIDE A COMPLETE OPERATIONAL SYSTEM.
- ANY DISCREPANCIES NOTED BY THE SUBCONTRACTOR SHALL BE BROUGHT TO THE ATTENTIONS OF THE ARCHITECT (IN WRITING) BEFORE BIDDING THIS PROJECT.
- AFTER BIDS ARE TURNED IN, THE SUBCONTRACTOR SHALL COMPLETE THE SYSTEMS AT NO ADDITIONAL COST.
- PLUMBING, MECHANICAL, AND ELECTRICAL SUBCONTRACTORS ARE RESPONSIBLE FOR COORDINATING ALL COMPONENTS TO INSURE COMPLETE AND WORKING SYSTEMS EACH SUBCONTRACTOR SHALL REVIEW ALL DRAWINGS FOR COMPLIANCE.
- THE ARCHITECT WILL BE RESPONSIBLE TO DETERMINE WHICH TRADE SHALL PROVIDE AND INSTALL ANY COMPONENTS MISSED FOR WORKING SYSTEMS AS NEEDED.

© COPYRIGHT 2016 MERSHAWN ARCHITECTS, INC. NO PRINTING OR COPING IS ALLOWED WITHOUT PERMISSION FROM MERSHAWN.

City of Rockwall

Project Plan Review History



Project Name S Type Subtype	SP2018-016 Shipman Office Building SITE PLAN Staff Review		Own Appli		an, Clay IAWN ARCHITECTS		Applied Approved Closed Expired Status	6/14/2018	LM
Site Address 1020 LA JOLLA POIN	ITE DR	City, State Zi ROCKWALL,					Zoning		
Subdivision LA JOLLA POINTE AL	DDITION PH 2	Tract 3		Block A	Lot No 3	Parcel No 4119-000A-0003-00-0	General Pla R	n	
Type of Review / Note	es Contact	Sent	Due	Received	Elapsed Status		Remarks		
BUILDING	Russell McDowell	6/14/2018	6/21/2018	6/19/2018	5 APPROV	/ED			
 No structures in Storm sewer to Must construct Need to build 2 surrounding prove the shot 12.5' parkway wasidewalks to be Install 8" water Need to show prove the show provement of the show	Fees reinforced concrete. n easements. match as-built drainage sidewalk along La Jolla 4' of Carmel Cir. along bo operties must ortening of Carmel Dr. And	oth property li both property ies on site pla	nes. Council a 7 owners mu	st purchase the	6 COMM	the City	See Comm		

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
(6/21/2018 10:52 A	M AA)					
	•		•		nan600 feet from a hydrar and mains shall be provide	nt on a fire apparatus access road as measured by an ed
Proposed new fire	hydrants shall be in	dicated on the si	te plan			
Size and location of	f the underground v	water line servicir	ng the fire spr	inkler system	shall be indicated on the s	ite plan
The proposed locat as the hose lays, of	•	artment Connect	ion (FDC) shall	be indicated	on the site plan. The FDC is	s required to be along the fire lane and within 100-feet
An approved water by the Fire Marshal				v for fire prote	ction shall be provided A	water flow test verifying capabilities shall be witnessed
GIS	Lance Singleton	6/14/2018	6/21/2018	6/21/2018	7 APPROVED	See Comments
(6/21/2018 9:12 AN	И LS)					
Address assignmen	t will be:					
1020 LA JOLLA POIN	NTE DR. ROCKWALI	_, TX 75087				
PLANNING	David Gonzales	6/14/2018	8 6/21/2018	6/20/2018	6 COMMENTS	See comments

Type of Review	/ Notes	Contact
----------------	---------	---------

Due

Remarks

Discuss and consider a request by Wayne Mershawn of Mershawn Architects on behalf of Clay Shipman for the approval of a site plan for an office building on a 1.28-acre parcel of land identified as Lot 3, Block A, La Jolla Pointe Addition, Phase 2, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, located on La Jolla Pointe drive northeast of the intersection La Jolla Pointe Drive and Laguna Drive, and take any action necessary.

Received

The following staff comments are to be addressed and resubmitted no later than Tuesday July 3, 2018. Please provide three large copies [24" X 36" FOLDED] and one PDF version for a subsequent review by staff:

* Planning Department General Comments to be addressed:

1. Adherence to Engineering and Fire Department standards shall be required

2. Submittal and approval of a Civil Engineering Plans and Final Plat prior to issuance of building permits. As a note, plat mylars must be received for filing purposes prior to release of any building permits.

3. Label revised site plan documents with "Case No. SP2018-016" at the lower right corner.

4. On all plans, delineate and label the contiuation of Carmel Circle to be located on southern property boundary.

VARIANCE AND EXCEPTIONS FOR P&Z AND CITY COUNCIL TO CONSIDER - SIMPLE MAJORITY VOTE:

The following variance and excetion requests are from Article V, Section 4, of the UDC:

1. Sec. 4.1.A.1: Approval of an exception to allow for not meeting the minimum20% stone requirement for all facades by allowing stone in the following proportions north 6%, east 1%, west 1%, and south 0%.

2. Sec. 4.1.A.1: Approval of an exception to allow stucco to exceed the 50% maximum on a facade by allowing the south elevation to contain 51% stucco.

3. Sec. 4.1.A.1: Approval of an exception to allow stucco to be located within the first four(4) feet above grade for a facade that is visible from a street or public area for the south, east and west elevations.

4. Sec.4.1.C.b: Approval of a variance to the verticle articulation standards to allow for not meeting the vertical articulation for the east elevation

** Please address the following Planning Comments for each plan submitted

Site Plan:

1. Label and dimension (ROW width) for La Jolla Pointe Drive and Carmel Circle

2. Verify parking count. Legend states 40 spaces provided, I count a total of 36 parking spaces.

3. Where are HVAC units located? See screening requirements and provide appropriate screening for all units

4. Relabel firelane as 24-ft Firelane, Public Access & Utility Easement as appropriate (i.e. if no utility within easeement, do not include Utility).

5. Dumpster enclosure to include a self latching gate mechanism and gate to be opaque

Landscape Plan:

1. Correct No. 1 of the Legend to indicate minimum number of Street Trees Required to equal1 tree per 50-linerar feet of Rights-of-Way, including the portion of Carmel Circle that is not shown on plan (i.e. minimum of 6 for La Jolla Pointe + 3 for east portion of Carmel Circle + 6 for south portion of Carmel Circle. Provided to equal minimum required of 15 trees.

2. Correct No. 5 of the Legend that indicates total landscaping required of 55,757 SF to 8,363 SF (i.e. 15% required). Also change the minimum required to 15% (not 20%).

3. Why are the trees along Carmel Circle out of the landscape buffer? The minimum number (i.e. three [3]) should be within this buffer.

Type of Review / Notes Contact Sent Due Received Elapsed Sta	atus Remarks
--	--------------

4. Provide label for 'Carmel Circle' .

5. Rip Rap retaining wall may require engineers design -- contact building inspections for pemit requirements.

Treescape Plan:

1. Provide a spreadsheet listing each tree, type, caliper inch, and indicate whether the tree is being removed or saved Provide totals regarding mitigation credits, etc.

Photometric Plan:

1. The plan as submitted meets or exceeds the intent of the standards established by the UDC

Building Elevations:

1. Requries a recommendation from the Architectural Review Board (ARB) forwarded to the Planning and Zoning Commission for consideration

2. Provide a materials sample board for ARB review.

3. See variance and exceptions above.

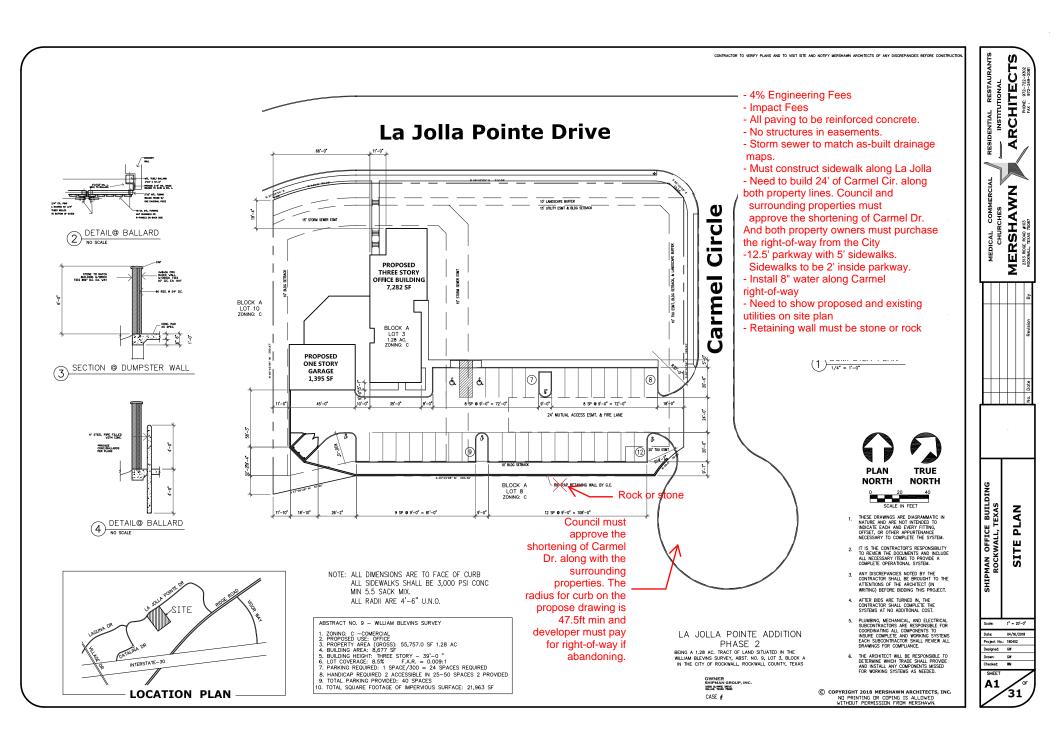
*** The following are scheduled meeting dates that you and/or your representative(s) are required to attend regarding the Site Plan request If you have any quesitons regarding this case, please feel free to contact David Gonzales, AICP with the Planning Department at 972-771-7745 or e-mail dgonzales@rockwall.com

Scheduled Meeting Dates to Attend

Architectural Review Board: June 26, 2018 (5:00p.m.) [To provide recommendations to applicant] Planning - Work Session: June 26, 2018 (6:00p.m.) [Applicant to present/discuss project to P&Z]

Architectural Review Board: July 10, 2018 (5:00p.m.) [To provide recommendations to applicant/P&Z] Planning - Action: July 10, 2018 (6:00p.m.) [P&Z to take action (i.e. approve, approve with conditions, deny)]

City Council - Action: July 16, 2018 (6:00 p.m.) [VARIANCE AND EXCEPTION REQUESTS ONLY]







City of Rockwall

Planning & Zoning Department 385 S. Goliad Street Rockwall, Texas 75032 (P): (972) 771-7745 (W): www.rockwall.com The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



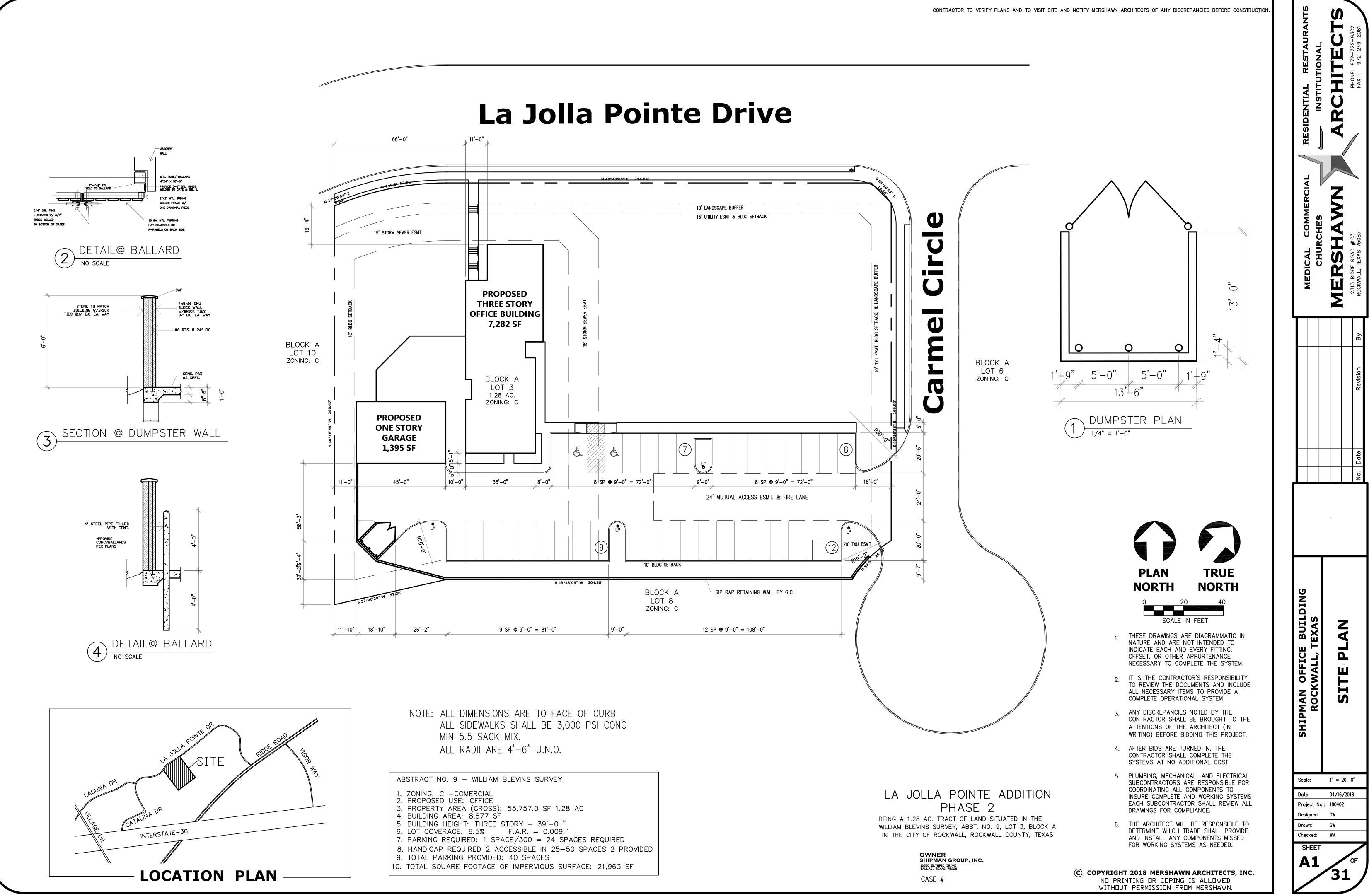


City of Rockwall Planning and Zoning Department June 8, 2018

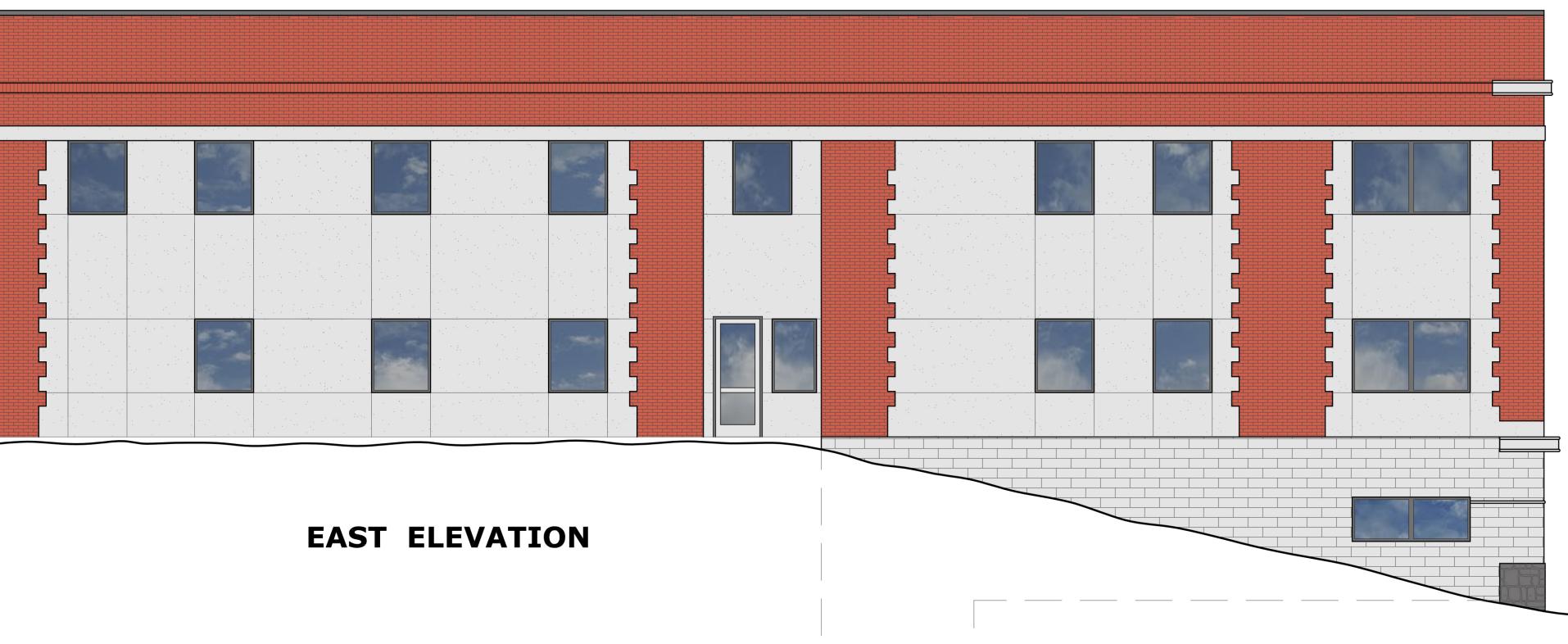
LETTER OF VARIANCE

We respectfully request a variance for the articulation ordinance on the Shipman Office Building Project.

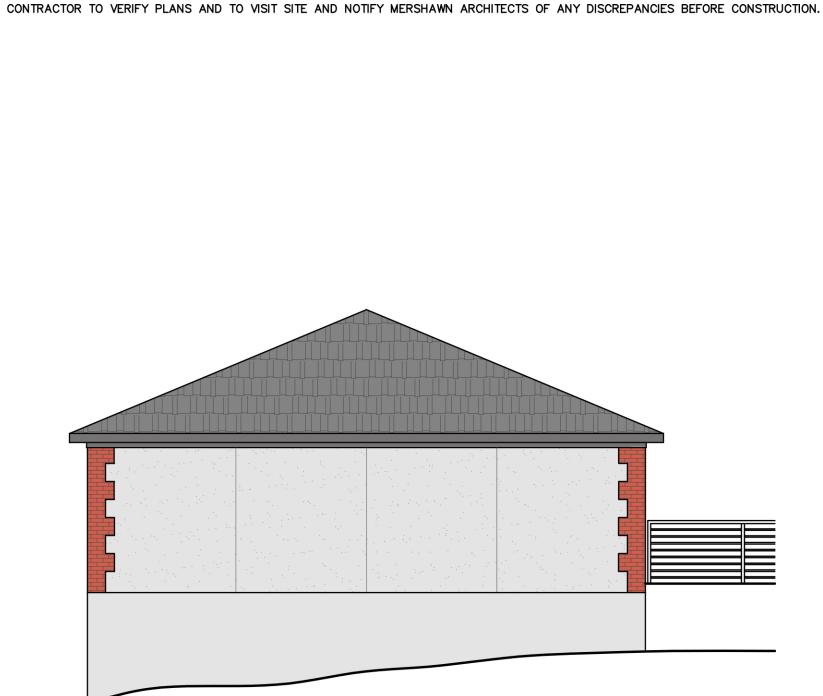
We are asking for this variance because our client is wanting to build an old style City Fire Station to look as similar as possible to the historical Hook and Ladder #8 Firehouse in New York City. The vertical and horizontal articulation is not conducive to this design and would take away from the old style.







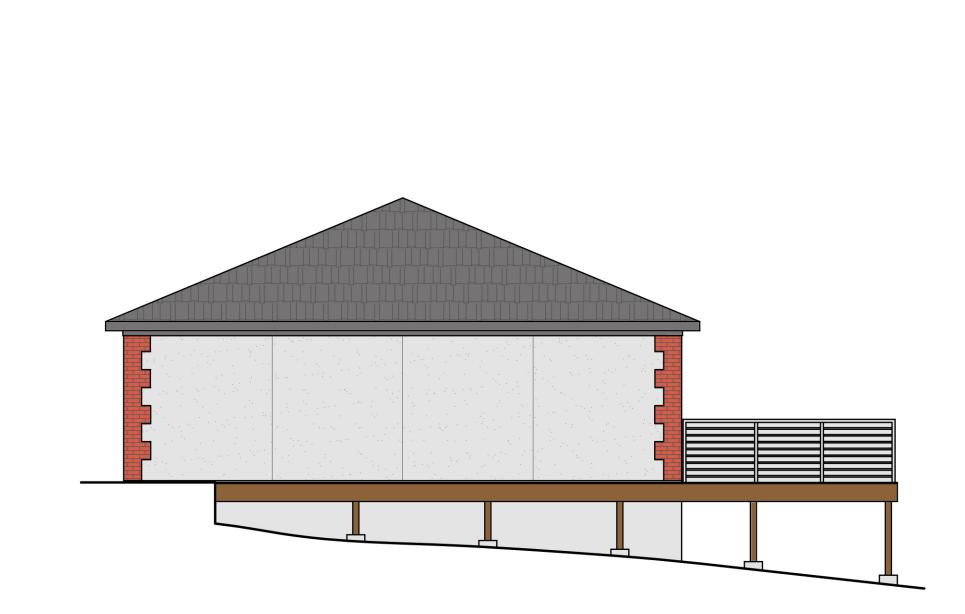
NORTH ELEVATION



WEST ELEVATION

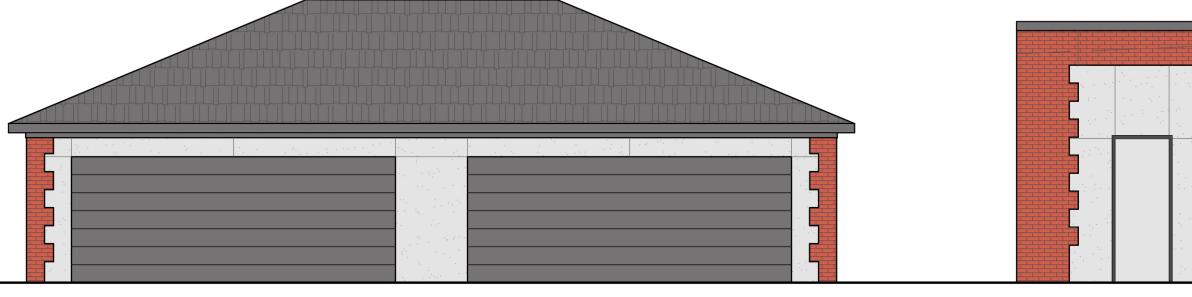
- THESE DRAWINGS ARE DIAGRAMMATIC IN NATURE AND ARE NOT INTENDED TO INDICATE EACH AND EVERY FITTING, OFFSET, OR OTHER APPURTENANCE NECESSARY TO COMPLETE THE SYSTEM.
- 2. IT IS THE CONTRACTOR'S RESPONSIBILITY TO REVIEW THE DOCUMENTS AND INCLUDE ALL NECESSARY ITEMS TO PROVIDE A COMPLETE OPERATIONAL SYSTEM.
- 3. ANY DISCREPANCIES NOTED BY THE CONTRACTOR SHALL BE BROUGHT TO THE ATTENTIONS OF THE ARCHITECT (IN WRITING) BEFORE BIDDING THIS PROJECT.
- 4. AFTER BIDS ARE TURNED IN, THE CONTRACTOR SHALL COMPLETE THE SYSTEMS AT NO ADDITIONAL COST.
- 5. PLUMBING, MECHANICAL, AND ELECTRICAL SUBCONTRACTORS ARE RESPONSIBLE FOR COORDINATING ALL COMPONENTS TO INSURE COMPLETE AND WORKING SYSTEMS EACH SUBCONTRACTOR SHALL REVIEW ALL DRAWINGS FOR COMPLIANCE.
- 6. THE ARCHITECT WILL BE RESPONSIBLE TO DETERMINE WHICH TRADE SHALL PROVIDE AND INSTALL ANY COMPONENTS MISSED FOR WORKING SYSTEMS AS NEEDED.
- C COPYRIGHT 2018 MERSHAWN ARCHITECTS, INC. ND PRINTING DR COPING IS ALLOWED WITHOUT PERMISSION FROM MERSHAWN.

MEDICAL COMMERCIAL RESIDENTIAL RESTAURANTS			MERSHAWN ARCHITECTS		ROCKWALL, TEXAS 75087 FAX: 972-249-2081
					No. Date Revision By
A CONTRACTOR OF A CONTRACTOR OFONTO OFONTO OFONTA CONTRACTOR OFONTO OFONTO OFONTA CONTRACTOR O	* ×	TERE ATE	ARCI MERS 628 0F TE	A LECT MAN	
SHIPMAN OFFICE BUILDING	ROCKWALL, TEXAS			EXTERIOR ELEVATIONS	
Desi Draw Chec	ect N gned: (n:	ſ	3/16" 04/16 18040 GW W	5/2018	-0" 3





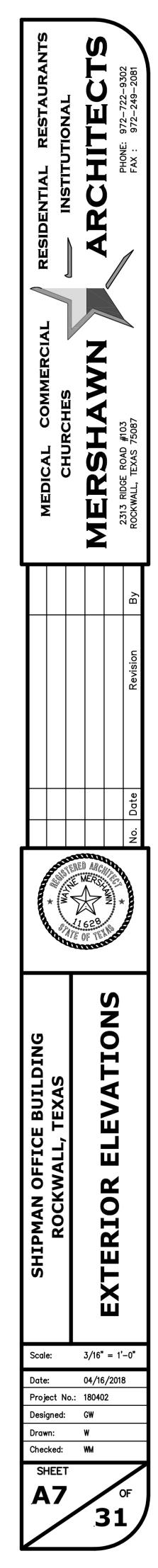




SOUTH ELEVATION

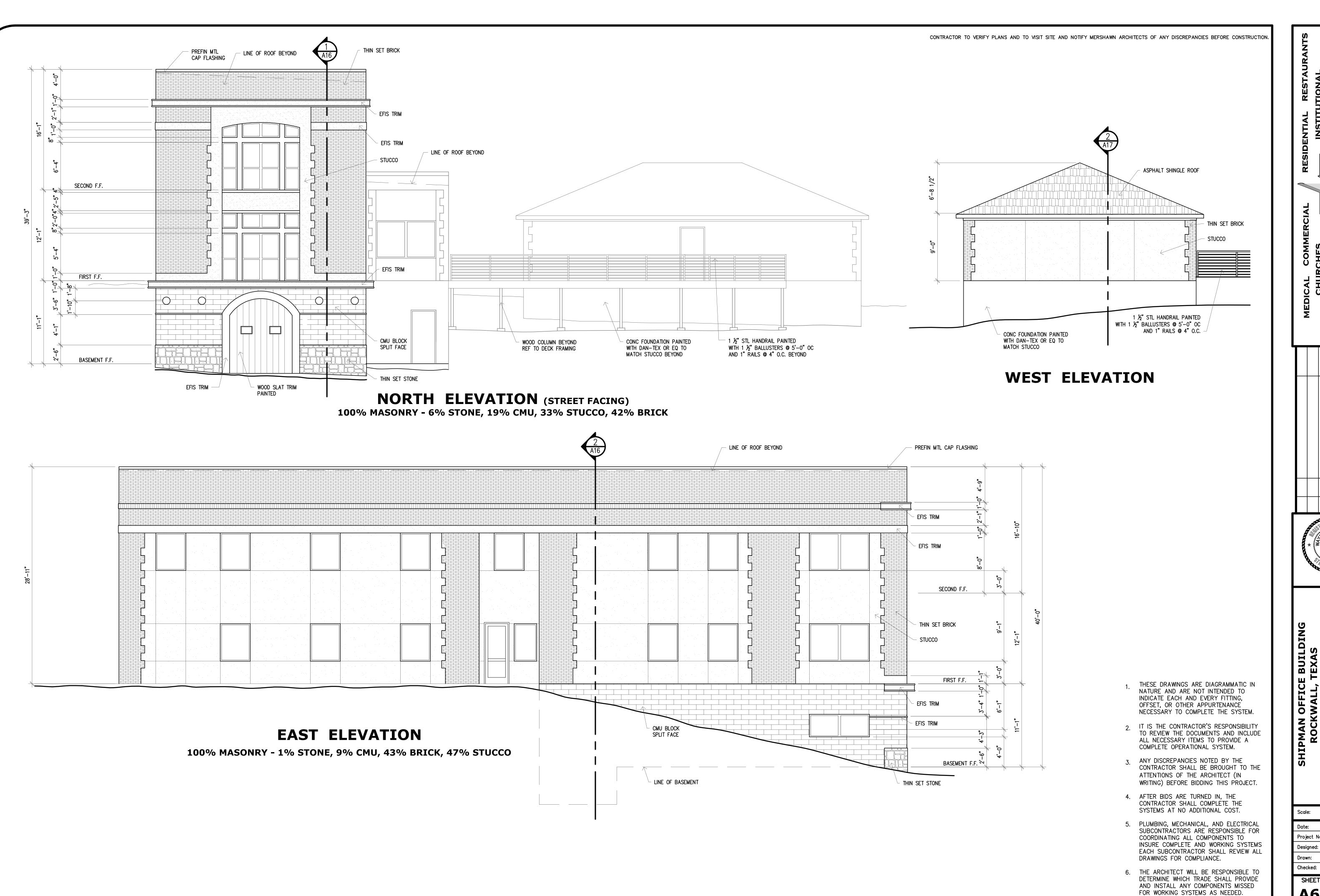
WEST ELEVATION

╷┝╷┾╷┥╷┥╷┝╷┝╷┝╷┝╻┝╻┝╻┝╻┝



- 1. THESE DRAWINGS ARE DIAGRAMMATIC IN NATURE AND ARE NOT INTENDED TO INDICATE EACH AND EVERY FITTING, OFFSET, OR OTHER APPURTENANCE NECESSARY TO COMPLETE THE SYSTEM.
- 2. IT IS THE CONTRACTOR'S RESPONSIBILITY TO REVIEW THE DOCUMENTS AND INCLUDE ALL NECESSARY ITEMS TO PROVIDE A COMPLETE OPERATIONAL SYSTEM.
- 3. ANY DISCREPANCIES NOTED BY THE CONTRACTOR SHALL BE BROUGHT TO THE ATTENTIONS OF THE ARCHITECT (IN WRITING) BEFORE BIDDING THIS PROJECT.
- 4. AFTER BIDS ARE TURNED IN, THE CONTRACTOR SHALL COMPLETE THE SYSTEMS AT NO ADDITIONAL COST.
- 5. PLUMBING, MECHANICAL, AND ELECTRICAL SUBCONTRACTORS ARE RESPONSIBLE FOR COORDINATING ALL COMPONENTS TO INSURE COMPLETE AND WORKING SYSTEMS EACH SUBCONTRACTOR SHALL REVIEW ALL DRAWINGS FOR COMPLIANCE.
- 6. THE ARCHITECT WILL BE RESPONSIBLE TO DETERMINE WHICH TRADE SHALL PROVIDE AND INSTALL ANY COMPONENTS MISSED FOR WORKING SYSTEMS AS NEEDED.

© COPYRIGHT 2018 MERSHAWN ARCHITECTS, INC. ND PRINTING DR COPING IS ALLOWED WITHOUT PERMISSION FROM MERSHAWN.



© COPYRIGHT 2018 MERSHAWN ARCHITECTS, INC. NO PRINTING OR COPING IS ALLOWED WITHOUT PERMISSION FROM MERSHAWN,

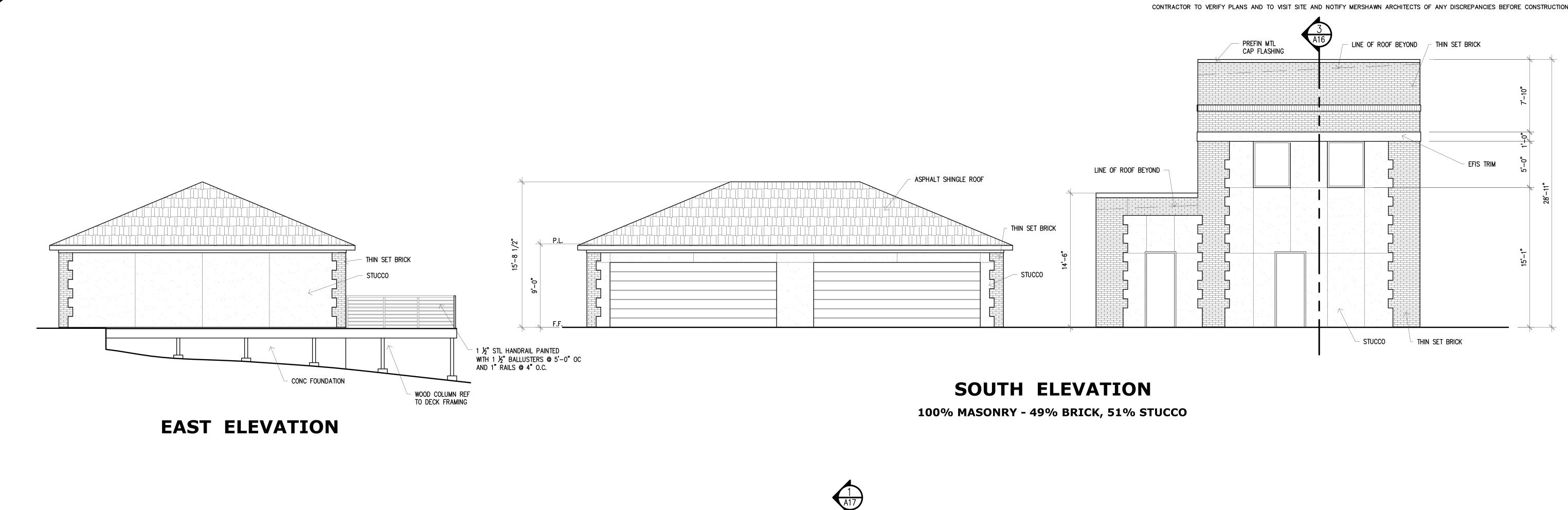
MEDICAL COMMERCIA CHURCHES MERSHA 2313 RIDGE ROAD #103 S Ζ ATIO SHIPMAN OFFICE BUILDING ROCKWALL, TEXAS ш RIO XTE Ш Scale: 3/16" = 1'-0"Date: 04/16/2018 Project No.: 180402 Designed: GW Drawn: W Checked: WM SHEET **A6** 31

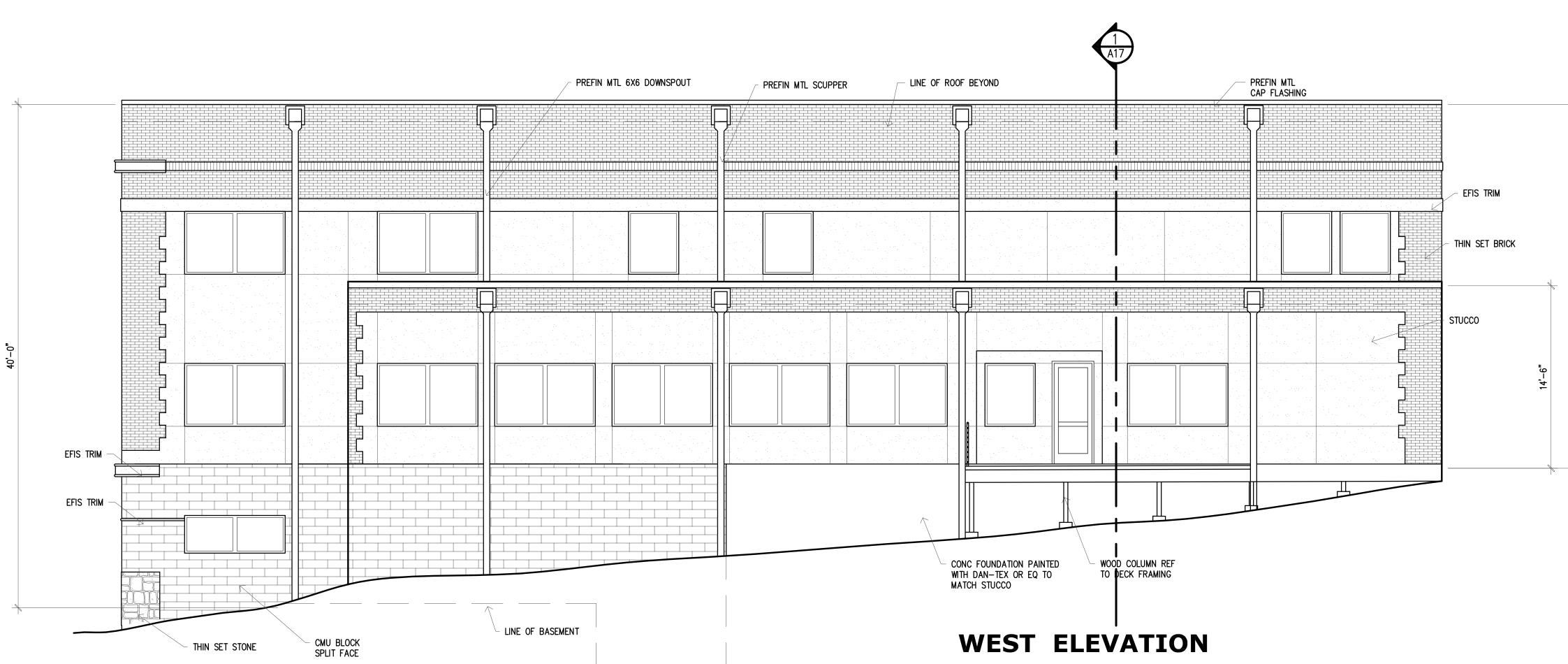
AURAN

RES Ō

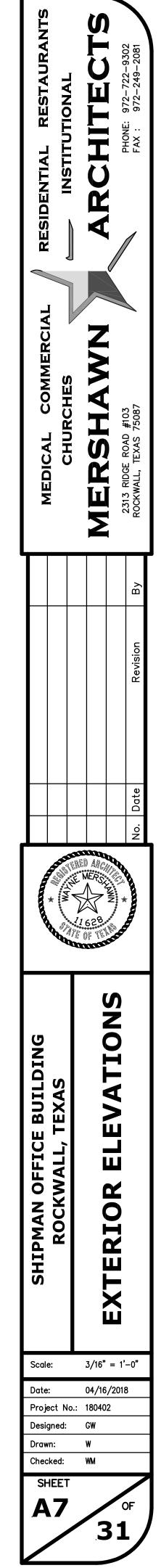
C

Ň



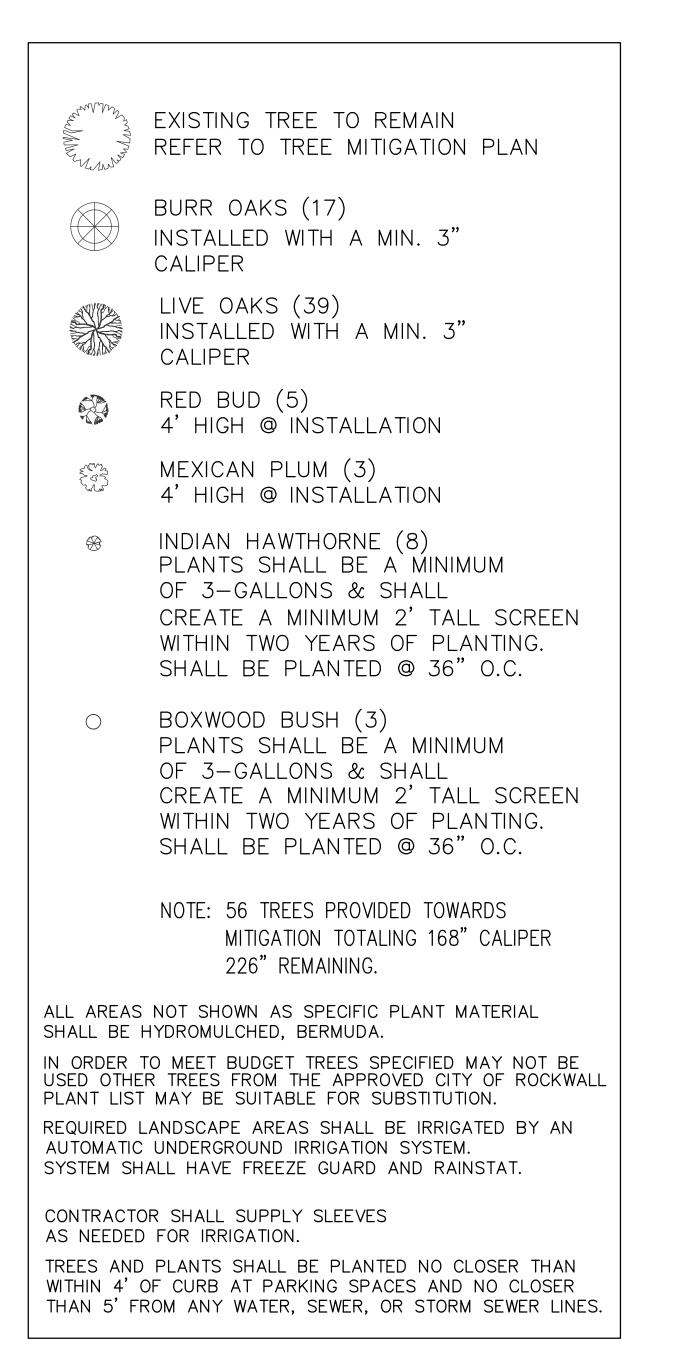


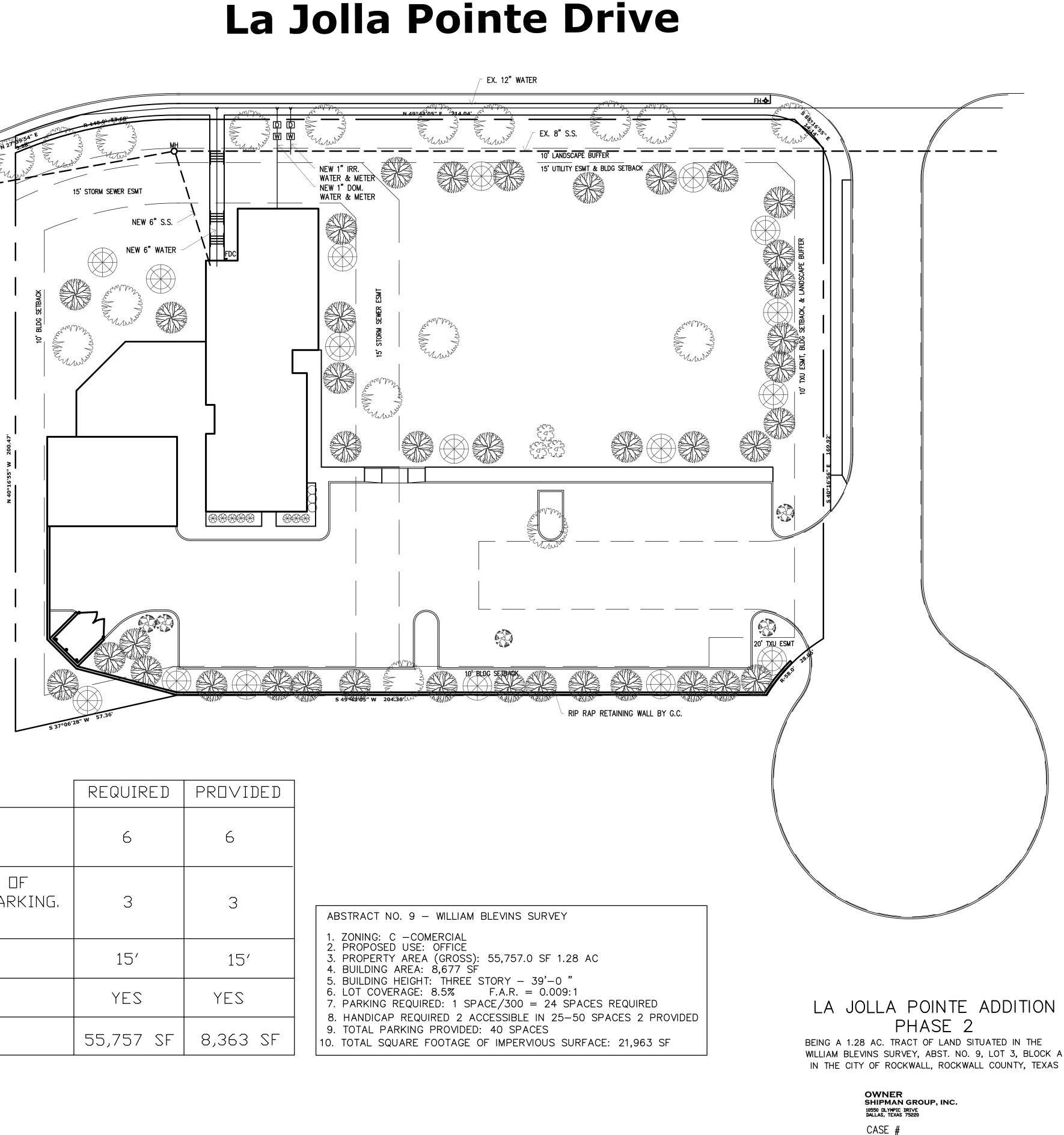
100% MASONRY - 1% STONE, 14% CMU, 37% BRICK, 48% STUCCO



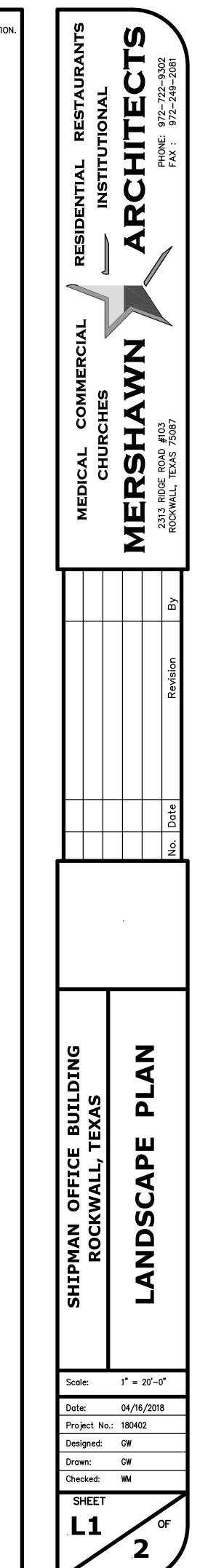
- THESE DRAWINGS ARE DIAGRAMMATIC IN NATURE AND ARE NOT INTENDED TO INDICATE EACH AND EVERY FITTING, OFFSET, OR OTHER APPURTENANCE NECESSARY TO COMPLETE THE SYSTEM.
- 2. IT IS THE CONTRACTOR'S RESPONSIBILITY TO REVIEW THE DOCUMENTS AND INCLUDE ALL NECESSARY ITEMS TO PROVIDE A COMPLETE OPERATIONAL SYSTEM.
- 3 ANY DISCREPANCIES NOTED BY THE CONTRACTOR SHALL BE BROUGHT TO THE ATTENTIONS OF THE ARCHITECT (IN WRITING) BEFORE BIDDING THIS PROJECT.
- 4. AFTER BIDS ARE TURNED IN, THE CONTRACTOR SHALL COMPLETE THE SYSTEMS AT NO ADDITIONAL COST.
- 5. PLUMBING, MECHANICAL, AND ELECTRICAL SUBCONTRACTORS ARE RESPONSIBLE FOR COORDINATING ALL COMPONENTS TO INSURE COMPLETE AND WORKING SYSTEMS EACH SUBCONTRACTOR SHALL REVIEW ALL DRAWINGS FOR COMPLIANCE.
- 6. THE ARCHITECT WILL BE RESPONSIBLE TO DETERMINE WHICH TRADE SHALL PROVIDE AND INSTALL ANY COMPONENTS MISSED FOR WORKING SYSTEMS AS NEEDED.

© COPYRIGHT 2018 MERSHAWN ARCHITECTS, INC. ND PRINTING DR COPING IS ALLOWED WITHOUT PERMISSION FROM MERSHAWN,

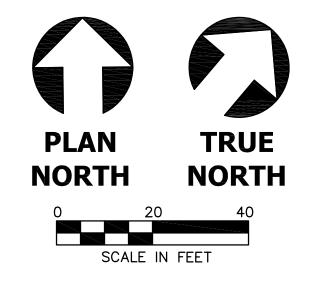




1.	STREET TREES 1 Canopy per 50'	6	
2.	SITE TREES – ONE TREE V/ A CALIPER OF AT LEAST 2″ FOR EACH 20,000 SF OF PARKING. 1 PER EVERY TEN REQ. PARKING SPACES	3	
3,	LANDSCAPE BUFFER	15′	
4.	SCREENING OF OFF STREET PARKING	YES	
5,	TOTAL LANDSCAPE AREA 20% REQUIRED	55,757 SF	8

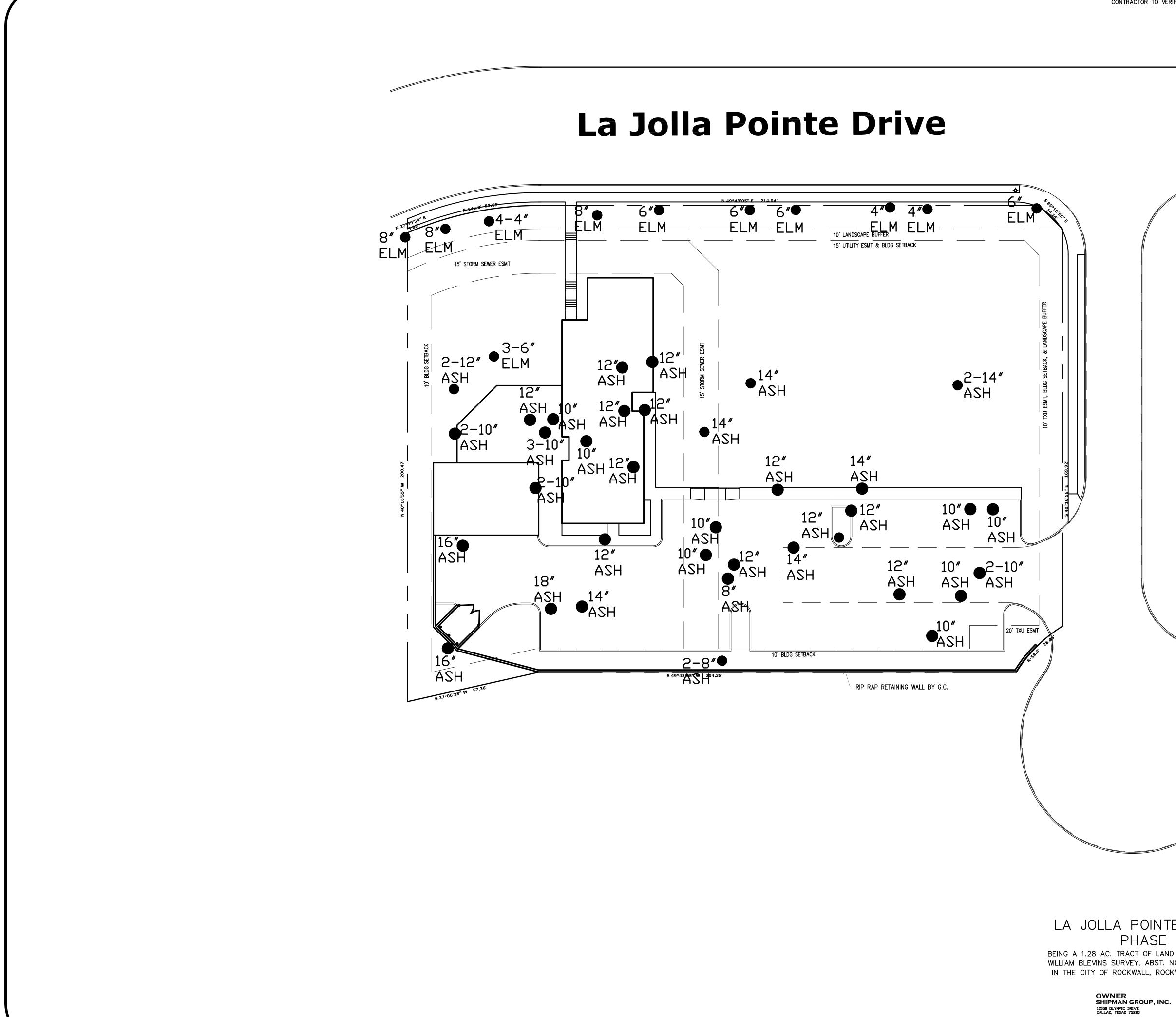


LA JOLLA POINTE ADDITION PHASE 2 WILLIAM BLEVINS SURVEY, ABST. NO. 9, LOT 3, BLOCK A



- THESE DRAWINGS ARE DIAGRAMMATIC IN NATURE AND ARE NOT INTENDED TO INDICATE EACH AND EVERY FITTING, OFFSET, OR OTHER APPURTENANCE NECESSARY TO COMPLETE THE SYSTEM.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO REVIEW THE DOCUMENTS AND INCLUDE ALL NECESSARY ITEMS TO PROVIDE A COMPLETE OPERATIONAL SYSTEM.
- ANY DISCREPANCIES NOTED BY THE CONTRACTOR SHALL BE BROUGHT TO THE ATTENTIONS OF THE ARCHITECT (IN WRITING) BEFORE BIDDING THIS PROJECT.
- 4. AFTER BIDS ARE TURNED IN, THE CONTRACTOR SHALL COMPLETE THE SYSTEMS AT NO ADDITIONAL COST.
- 5. PLUMBING, MECHANICAL, AND ELECTRICAL SUBCONTRACTORS ARE RESPONSIBLE FOR COORDINATING ALL COMPONENTS TO INSURE COMPLETE AND WORKING SYSTEMS EACH SUBCONTRACTOR SHALL REVIEW ALL DRAWINGS FOR COMPLIANCE.
- 6. THE ARCHITECT WILL BE RESPONSIBLE TO DETERMINE WHICH TRADE SHALL PROVIDE AND INSTALL ANY COMPONENTS MISSED FOR WORKING SYSTEMS AS NEEDED.

(C) COPYRIGHT 2018 MERSHAWN ARCHITECTS, INC. NO PRINTING OR COPING IS ALLOWED WITHOUT PERMISSION FROM MERSHAWN,



LA JOLLA POINTE ADDITION PHASE 2 BEING A 1.28 AC. TRACT OF LAND SITUATED IN THE WILLIAM BLEVINS SURVEY, ABST. NO. 9, LOT 3, BLOCK A IN THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

CASE #

				NTIAL RESTAURANTS	HITEC	PHONE: 972-722-9302 FAX : 972-249-2081
				RESIDENTIAL	SCF SCF	<u>с</u> г
				RESID	AF	1
				ERCIAL	N	
				COMMERCIA	IAW	03 387
					HS	#1 75(
	EXISTING TREE TO			MEDICAL	IE R	2313 RIDGE ROAD ROCKWALL, TEXAS
	EXISTING TREE TO				<u>ک</u>	
						By
	IOTAL EXISTING C					sion
Т	TO REMAIN					Revision
T	TO BE REMOVED					
C	OF ELM TO REMAI	Ν				
(20%) IOTAL REPLACEME					No. Date
		TRUE				
	0 20	40		BUILDING EXAS		
'. NATU INDIC OFFS	SCALE IN SE DRAWINGS ARE JRE AND ARE NOT CATE EACH AND E SET, OR OTHER AP ESSARY TO COMPL	DIAGRAMMATIC II INTENDED TO VERY FITTING, PURTENANCE		L C	NOTTASTTIM	
Z. TO F ALL	THE CONTRACTOR REVIEW THE DOCUM NECESSARY ITEMS PLETE OPERATION	IENTS AND INCLU TO PROVIDE A				
CON ATTE	DISCREPANCIES N TRACTOR SHALL B ENTIONS OF THE A ING) BEFORE BIDD	E BROUGHT TO T RCHITECT (IN		SHIPMAN ROCI		
CON	ER BIDS ARE TURN TRACTOR SHALL C TEMS AT NO ADDIT	OMPLETE THE				
SUB(COOI INSU EACI	MBING, MECHANICA CONTRACTORS ARE RDINATING ALL CO IRE COMPLETE ANE H SUBCONTRACTOF WINGS FOR COMPL	E RESPONSIBLE FO MPONENTS TO D WORKING SYSTE R SHALL REVIEW	OR	-	1" = 2 04/16/ lo.: 180402	/2018
DE TE AND	ARCHITECT WILL E ERMINE WHICH TRA INSTALL ANY CON WORKING SYSTEMS	DE SHALL PROVID IPONENTS MISSED	DE	Designed: Drawn: Checked: SHEET	GW WM	

				\$	
to.0 to.0 <thto.0< th=""> to.0 to.0 <tht< th=""><th>.0 0.1 0.1 0.2 0.2 0.2 0.2 0.1 0.1 0.0</th><th>N 49°43'05" E 214.04' 0.0 0.0 0.0 0.0 0.0 0.0 0.0 0.0 0.0 0.0</th><th>0 0.0 0.0 0.0 0.0 0.0 0.0 0.0 0.0</th><th><u></u> 0.0 0.0 <u>0.0</u> <u>0.0</u> <u>0.0</u> <u>0.0</u> 0.0 0.0 0.0 0.0 0.0 0.0 0.0 0.0 <u>0.0</u> <u>0.0</u> <u>0.0</u> <u>0.0</u> 0.0 0.0 0.0 0.0 0.0 <u>0.0</u> <u>0.0</u> <u>0.0</u> <u>0.0</u> 0.0 0.0 0.0 0.0 <u>0.0</u> <u>0.0</u> <u>0.0</u> 0.0 0.0 0.0 <u>0.0</u> <u>0.0</u> <u>0.0</u> <u>0.0</u> 0.0 0.0 0.0 <u>0.0</u> <u>0.0</u> <u>0.0</u> <u>0.0</u> 0.0 0.0 <u>0.0</u> <u>0.0</u> <u>0.0</u> <u>0.0</u> <u>0.0</u> 0.0 0.0 0.0 0.0 <u>0.0</u> </th><th>0.0 [†]0.0 [†]0.0 [†]0.0 [†]0.0</th></tht<></thto.0<>	.0 0.1 0.1 0.2 0.2 0.2 0.2 0.1 0.1 0.0	N 49°43'05" E 214.04' 0.0 0.0 0.0 0.0 0.0 0.0 0.0 0.0 0.0 0.0	0 0.0 0.0 0.0 0.0 0.0 0.0 0.0 0.0	<u></u> 0.0 0.0 <u>0.0</u> <u>0.0</u> <u>0.0</u> <u>0.0</u> 0.0 0.0 0.0 0.0 0.0 0.0 0.0 0.0 <u>0.0</u> <u>0.0</u> <u>0.0</u> <u>0.0</u> 0.0 0.0 0.0 0.0 0.0 <u>0.0</u> <u>0.0</u> <u>0.0</u> <u>0.0</u> 0.0 0.0 0.0 0.0 <u>0.0</u> <u>0.0</u> <u>0.0</u> 0.0 0.0 0.0 <u>0.0</u> <u>0.0</u> <u>0.0</u> <u>0.0</u> 0.0 0.0 0.0 <u>0.0</u> <u>0.0</u> <u>0.0</u> <u>0.0</u> 0.0 0.0 <u>0.0</u> <u>0.0</u> <u>0.0</u> <u>0.0</u> <u>0.0</u> 0.0 0.0 0.0 0.0 <u>0.0</u> 	0.0 [†] 0.0 [†] 0.0 [†] 0.0 [†] 0.0
U.0 0.0	$\dot{0}.1$ $\dot{0}.1$ $\dot{0}.2$ $\dot{0}$ 3 $\dot{0}.4$ $\dot{0}.4$ $\dot{0}.4$ $\dot{0}.4$ $\dot{0}.3$ $\dot{0}.2$ $\dot{0}.1$	⁺ 0.0	0.0 [†] 0.0	to.o to.o to.o to.o to.o to.o to.o	✓ ⁺ 0.0 ⁺ 0.0 ⁺ 0.0 ⁺ 0.0 ⁺ 0.0
[†] 0.0	to.1 to.2 to.4 to t.3 t.2 t.2 t.2 to.8 to.4 to.1	⁺ 0.1 ⁺ 0.0 ⁺ 0.0 ⁺ 0.0 ⁺ 0.0 ⁺ 0.0 ⁺ 0.0	0.0 [†] 0.0		.0 [†] 0.0 [†] 0.0 [†] 0.0 [†] 0.0 [†] 0.0
to.o to.o to.o to.o to.o to.o to.o to.o	$t_{0.1}$ $t_{0.3}$ $t_{0.8}$ $\left \begin{array}{ccc} 1 \\ 1 \\ 9 \\ 2.5 \\ 2.0 \\ \end{array} \right $ $t_{2.1}$ $t_{2.4}$ $t_{1.5}$ $t_{0.5}$ $t_{0.2}$	[†] 0.1 [†] 0.0 [†] 0.0 [†] 0.0 [†] 0.0 [†] 0.0 [†] 0.0	0.0 [†] 0.0		.0 [†] 0.0 [†] 0.0 [†] 0.0 [†] 0.0 [†] 0.0
°.0 °.0 °.0 °.0 °.0 °.0 °.0 °.1 °0	to.2 to.4 to.1 to to.1 to.1 to.1 to.1 to.1 to.1 t	[†] 0.0	0.0 [†] 0.0	to.o to.o to.o to.o to.o to.o	o [†] 0.0 [†] 0.0 [†] 0.0 [†] 0.0 [†] 0.0
°0.0 °0.0 °0.0 ^{°0.0} °0.0 °0.0 °0.0 °0.0 °0.1 °0		[†] 0.0	0.0 [†] 0.0	to.o to.o to.o to.o to.o to.o to.o	⁺ 0.0 ⁺ 0.0 ⁺ 0.0 ⁺ 0.0 ⁺ 0.0
^{0.0} ^{0.0} ^{0.0} ^{0.0} ^{0.0} ^{0.0} ^{0.0} ^{0.0} ^{0.1} ⁰	to.1 to.5 to.4 to.4 to.4 to.4 to.4 to.4 to.4 to.4	⁺ 0.0	0.0 [†] 0.0	to.o to.o to.o to.o to.o to.o to.o	0.0 ⁺ 0.0 ⁺ 0.0 ⁺ 0.0 ⁺ 0.0 ⁺ 0.0
^{0.0} ⁰ .0 ⁰ .0 ⁰ .0 ⁰ .0 ⁰ .0 ⁰ .0 ⁰ .1 ⁰ 0	MH: 11.33 0.1 0.1 0.3 PROPOSED 0.0 0.0 0.0	⁺ 0.0	0.0 [†] 0.0	to.o to.o to.o to.o to.o to.o	0.0 ⁺ 0.0 ⁺ 0.0 ⁺ 0.0 ⁺ 0.0 ⁺ 0.0
°0.0 °0.0 °0.0 °0.0 °0.0 °0.1 °0.1 °0.1		[†] 0.0 [†] 0.0 [†] 0.0 [†] 0.0 [†] 0.0 [†] 0.0	0.0 [†] 0.0	to.o to.o to.o to.o to.o to.o to.o	[†] 0.0 [†] 0.0 [†] 0.0 [†] 0.0 [†] 0.0
°0.0 °0.0 °0.0 °0.1 °0.1 °0.1 °0.2 °0.0 °0.1 °0.1 °0.1 °0.2 °0.0 °0.1 °0.1 °0.1 °0.2 °0.0 °0.0 °0.1 °0.1 °0.2 °0.0 °0.0 °0.0 °0.0 °0.0 °0.0 °0.0	OFFICE BUILDING 0.5 0.9 0.1 0.1 0.0	[†] 0.0 [†] 0.0 [†] 0.0 [†] 0.0 [†] 0.0 [†] 0.0	0.0 [†] 0.0	to.o to.o to.o to.o to.o to.o	.0 [†] 0.0 [†] 0.0 [†] 0.0 [†] 0.0
^{6.0} ^{6.0} ^{6.0} ^{6.1} ^{6.1} ^{6.1} ^{6.2} ^{6.3} ^{6.5} ¹	t.0 t.1 t.9 t.1	[†] 0.1 [†] 0.0 [†] 0.0 [†] 0.0 [†] 0.0 [†] 0.0 [†] 0.0	0.0 [†] 0.0	to.o to.o to.o to.o	.0 [†] 0.0 [†] 0.0 [†] 0.0 [†] 0.0 [†] 0.0
$b_{0,0}$ LOT 10,0 $b_{1,1}$ $b_{0,2}$ $b_{0,3}$ $b_{0,5}$ $b_{0,7}$ $b_{0,9}$ $b_{1,1}$	t.6 [±] 2.6 [±] 2.9 ^t H: 11.33 ^t .7 [±] 0.9 [±] 0.4 [±] 0.2	⁺ 0.1 ⁺ 0.1 ⁺ 0.0 ⁺ 0.1 ⁺ 0.1 ⁺ 0.1	0.1 [°] 0.1 [°] 0.1 [°] 0.0 [°] 0.0 [°] 0.0 [°] 0.0 [°] 0.0	to.o to.o to.o to.o to.o to.o to.o to.o	.0 [†] 0.0 [†] 0.0 [†] 0.0 [†] 0.0 [†] 0.0
ZONING: C [†] 0.0 [†] 0.0 [†] 0.0 [†] 0.3 [†] 0.8 [†] 1.4 [†] 1.7 [†] 1.9 [†] 2		[†] 0.1	0.1 [†] 0.1 [†] 0.1 [†] 0.1 [†] 0.0 [†] 0.0 [†] 0.0 [†] 0.0	t.o t.o t.o t.o	.0 [†] 0.0 [†] 0.0 [†] 0.0 [†] 0.0
to.o to.o to.o to.o to.o to.o to.o to.o	\$3.6 \$3.8 \$\$WP1 \$\$BLOCK A LOT 3 \$\$WP2_2 \$\$2.3 HH: 11.33 \$\$2.3	[†] 0.2 [†] 0.1 [†] 0.1 [†] 0.1 [†] 0.1 [†] 0.1 [†] 0.1	0.1 [†] 0.2 [†] 0.1 [†] 0.1 [†] 0.1 [†] 0.1 [†] 0.0 [†] 0.0	to.o to.o <thto.o< th=""> to.o to.o <tht< th=""><th>.o [†]0.o [†]0.o [†]0.o [†]0.o</th></tht<></thto.o<>	.o [†] 0.o [†] 0.o [†] 0.o [†] 0.o
to.0 to.0 to.0 to.0 to.0 to.0 to.0 to.0	Р2 Н 11 33 Н 11 33 Н 11 33 Н 11 33 Н 1.28 AC. ZONING: C 1.7 2.0 1.1 0.5	[†] 0.2	0.2 [†] 0.3 [†] 0.3 [†] 0.3 [†] 0.2 [†] 0.1 [†] 0.1 [†] 0.1 [†] 0.1		.0 [†] 0.0 [†] 0.0 [†] 0.0 [†] 0.0 [†] 0.0
	MH: 11.33	⁶ .3 ⁶ .2 ⁶ .2 ⁶ .3 ⁶ .3 ⁶ .3 ⁶ .3	0.4 [°] 0.4 [°] 0.4 [°] 0.4 [°] 0.3 [°] 0.3 [°] 0.2 [°] 0.2 [°] 0.2	t.1 t.0 t.0 t.0 t.0 t.0 t.0 t.0	.0 [†] 0.0 [†] 0.0 [†] 0.0 [†] 0.0 [†] 0.0
[™] .0 GARAGE	то.9 то.9 то.9 то.9 то.9 то.9 то.9 то.9	8.4 0.β 0.3 0.4 0.4 0.5 0.5	0.5 0.5 0.6 0.β 0.5 0.4 0.4 0.4 0.3	to.2 to.1 to.0 to.0 to.0 to.0 to.0	.0 [†] 0.0 [†] 0.0 [†] 0.0 [†] 0.0 [†] 0.0
		×.8 5.7 0.7 0.8 0.9 0.9 1.0	0.9 р.8 р.8 р.8 р.8 р.7 р.7 р.7 р.7 р.7	to.4 to.1 to.0 to.0 to.0 to.0 to.0	.o [†] o.o [†] o.o [†] o.o [†] o.o [†] o.o
^{0,2} ^{0,3} ^{0,5} ^{0,7} ^{0,9} ^{1,1} ¹	WP1 MH: 8 1.2 1 1.5 1.3 1.5 2.4 2.0 1.4 1.4 1.4	SB SB 1,4 1.5 1.6 1.7 1.8 1.9 2.4	1.8 1.4 1.2 1.2 1.2 1.2 1.4 1.4	b.o te.z te	.o [†] o.o [†] o.o [†] o.o [†] o.o [†] o.o
[†] 0.0 [†] 0.0 [†] 0.1 ^{0.2} [†] 0.4 [†] 0.7 [†] 1.1 [†] 1.4 [†] 1.7 [†] 1	1.8 1.6 1.4 1.2 1.3 1.2 1.1 1.2 1.5 1.7		$1 \qquad 1 \qquad$	1.1 to.1 to.0 to.0 to.0 to.0 to.0 to.0 to.0 to.0	.o [†] o.o [†] o.o [†] o.o [†] o.o [†] o.o
[†] 0.0 [†] 0.0 [†] 0.1 ^{0.2} [†] 0.4 [†] 0.6 [†] 0.9 [†] 1.2 [†] 1.6 [†] 1	1.8 1.8 1.5 1.2 1.0 0.9 0.9 1.0 1.2 1.6 1.9	[±] 2.2 [±] 2.5 [±] 2.6 [±] 2.7 [±] 2.7 [±] 2.6 [±] 2.4	2.3 2.1 1.9 1.6 1.7 1.9 2.2 2.7 2.7	1.3 to.1 to.0 to.0 to.0 to.	[†] 0.0 [†] 0.0 [†] 0.0 [†] 0.0 [†] 0.0
[†] 0.0 [†] 0.1 [†] 0.3 [†] 0.5 [†] 0.8 [†] 1.1 [†] 1.6 [†] 1	1.9 1.8 1.4 1.1 0.9 0.8 0.8 0.9 1.1 1.4 1.8	[±] 2.3 [±] 2.7 [±] 2.6 [±] 2.5 [±] 2.4 [±] 2.2 [±] 2.0	1.9 [†] .8 [†] .7 [†] 1.5 [†] .6 [†] 1.9 [†] 2.4 [†] 3.0 [†] 3.2		[†] 0.0 [†] 0.0 [†] 0.0 [†] 0.0 [†] 0.0
to.0 to.0 to.1 to.2 to.5 to.7 to.1 to.2	LISC 1.3MH: 20 1.0 0.7 0.5 0.5 0.5 0.5 0.5 0.6 0.8 1.1	1.6 LBA 1.9 1.7 1.6 1.5 1.4	3 1.3 1.3 1.2 1.2 1.3 1.6 2.0 2.2	30 1.2 0.1 0.0 0.0 0.0 0.0 0.0	.o [†] 0.0 [†] 0.0 [†] 0.0 [†] 0.0 [†] 0.0
to.o to.o to.o to.o to.o to.o to.o to.o	to.5 to.5 to.4 to.3 to.2 to.2 to.2 to.2 to.2 to.2 to.2 to.2	96.6 to.8 to.9 to.9 to.8 to.8 to.7	0.7 ^t 0.7 ^t 0.7 ^t 0.7 ^t 0.6 ^t 0.5 ^t 0.4 ^t 0.4 ^b .4	5.3 5.0 <td> [†]e.o [†]o.o [†]o.o [†]o.o [†]o.o</td>	[†] e.o [†] o.o [†] o.o [†] o.o [†] o.o
to.0 to.0 to.0 to.0 to.1 to.1 to.2 to	to.2 to.2 to.1 to.1 to.1 to.1 to.1 to.1 to.1 to.1	0.3 0.4 0.4 0.4 0.4 0.3	<u></u>	t. t	.0 to.0 to.0 to.0 to.0 to.0
to.o to.o to.o to.o to.o to.o to.o to.o		3er 01 02 02 01 01 01 01	0.1 0.1 0.1 0.1 0.1 0.1 0.1 0.1 0.	0.0 top to.0 to.0 to.0 to.0 to.0 to.	.o to.o to.o to.o to.o
^{0,0}	$\dot{0.0}$ $\dot{0.0}$ $\dot{0.0}$ $\dot{0.0}$ $\dot{0.0}$ $\dot{0.0}$ $\dot{0.0}$ $\dot{0.0}$ $\dot{0.0}$ $\dot{0.1}$ \dot		$\begin{array}{cccccccccccccccccccccccccccccccccccc$	° •.0 •.0 •.0 •.0 •.0 •.0 •.0 •.	.o t.o t.o t.o t.o
0.0 0.0 0.0 0.0 0.0 0.0 0.0 0.0 0.0 0.0	to.o to.o to.o to.o to.o to.o to.o to.o	LOT 8 5.0 5.0 5.0 ZONING: C 5.0 5.0	0.0 [†] 0.0	to to.o to.o to.o to.o to.o to.o to.o	.o to.o to.o to.o to.o
⁺0.0 ⁺0.0 ⁺0.0 ⁺0.0 ⁺0.0 ⁺0.0 ⁺0.0 †0.0 †	₺.০ ₺.০ ₺.০ ₺.০ ₺.০ ₺.০ ₺.০ ₺.০ ₺.০ ₺.০	[†] 0.0		$ \begin{bmatrix} 0 & 0 & 0 & 0 & 0 & 0 & 0 & 0 & 0 & 0 &$.o to.o to.o to.o to.o
⁺ō.o ⁺ō.o tō.o tō.o tō.o tō.o tō.o tō.o tō.o t	₺.০ ₺.০ ₺.০ ₺.০ ₺.০ ₺.০ ₺.০ ₺.০ ₺.০ ₺.০	[†] 0.0 [†] 0.0 [†] 0.0 [†] 0.0 [†] 0.0 [†] 0.0	o.o [†] o.o	$\begin{bmatrix} t_{0}, 0 & t_{0}, $.o to.o to.o to.o to.o
Luminaire Schedule Symbol Type Qty Manufacturer / Cata	alog Number Total Lum	en Output Total Input Watts Ballast Factor Light	Lost Factor User Defined Factor	Q.o to.o to.o to.o to.o to.o to.o to.o	to to to to
SA 1 LITHONIA DSX0 LED SB 1 LITHONIA DSX0 LED	D P3 40K T3M [VOLT] [MOUNT] HS [FINISH] / 20' POLE 6649 D P3 40K T3M [VOLT] [MOUNT] (FINISH] / 20' POLE 8205 D P3 40K TFTM [VOLT] [MOUNT] HS [FINISH] / 20' POLE 6595	71 1.000 0.81 71 1.000 0.81 71 1.000 0.81 71 1.000 0.81	1.000 1.000	to.a to.o to.o to.o to.o to.o to.o to.o	.o [†] 0.o [†] 0.o [†] 0.o [†] 0.o
		71 1.000 0.81 8.36 1.000 0.81 12 1.000 0.81	1.000	to.o to.o to.o to.o to.o to.o to.o to.o	.o ⁺ 0.o ⁺ 0.o ⁺ 0.o ⁺ 0.o ⁺ 0.o
Calculation Summary Calculation Grid Location Calc. He				to.o to.o to.o to.o to.o to.o to.o to.o	[†] 0.0 [†] 0.0 [†] 0.0 [†] 0.0 [†] 0.0
GRADE_Planar 0 PROPERTY LINE N.A PARKING AREA 1	Height (Ft.) Units Avg Max Min Avg/Min Fc 0.34 3.9 0.0 N.A. Fc 0.04 0.2 0.0 N.A. Fc 1.25 3.2 0.1 12.50			to.o to.o to.o to.o to.o to.o to.o	.0 0 .0 0 .0 0 .0 0 .0
				to.o to.o to.o to.o to.o to.o to.o to.o	[†] 0.0 [†] 0.0 [†] 0.0 [†] 0.0 [†] 0.0
ABSTRACT NO. 9 - WIL					
1. ZONING: C -COMERC 2. PROPOSED USE: OFF	JIAL FICE				

2. PROPOSED USE: OFFICE 3. PROPERTY AREA (GROSS): 55,757.0 SF 1.28 AC 4. BUILDING AREA: 8,677 SF 5. BUILDING HEIGHT: THREE STORY - 39'-0 " 6. LOT COVERAGE: 8.5% F.A.R. = 0.009:1 7. PARKING REQUIRED: 1 SPACE/300 = 24 SPACES REQUIRED 8. HANDICAP REQUIRED 2 ACCESSIBLE IN 25-50 SPACES 2 PROVIDED 9. TOTAL PARKING PROVIDED: 40 SPACES 10. TOTAL SQUARE FOOTAGE OF IMPERVIOUS SURFACE: 21,963 SF

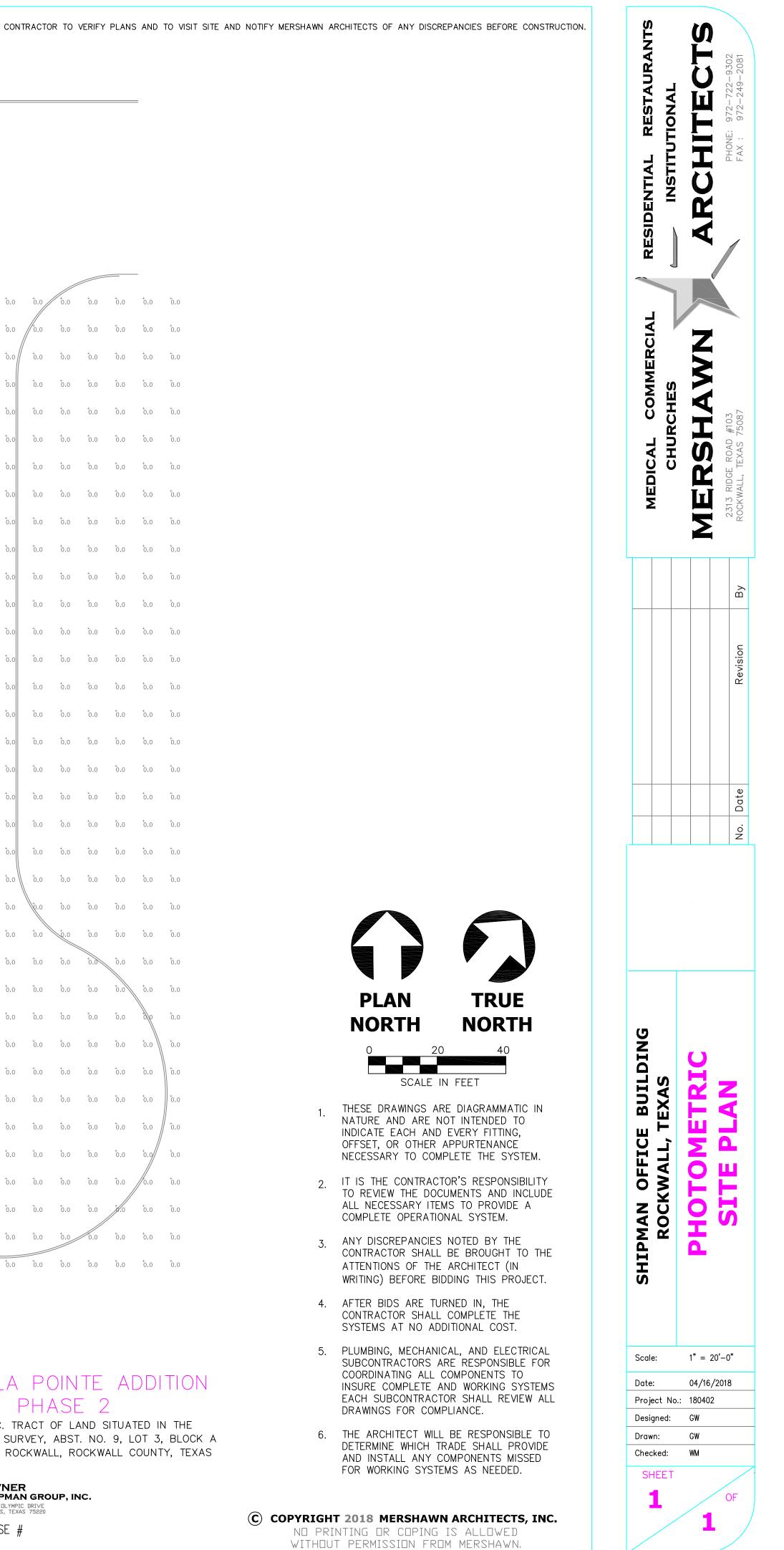
La Jolla Pointe Drive

LA JOLLA POINTE ADDITION

PHASE 2 BEING A 1.28 AC. TRACT OF LAND SITUATED IN THE WILLIAM BLEVINS SURVEY, ABST. NO. 9, LOT 3, BLOCK A IN THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

OWNER SHIPMAN GROUP, INC.

10550 OLYMPIC DRI∨E DALLAS, TEXAS 75220 CASE #



PLAN NORTH

SCALE IN FEET

- THESE DRAWINGS ARE DIAGRAMMATIC IN NATURE AND ARE NOT INTENDED TO INDICATE EACH AND EVERY FITTING, OFFSET, OR OTHER APPURTENANCE NECESSARY TO COMPLETE THE SYSTEM.
- 2. IT IS THE CONTRACTOR'S RESPONSIBILITY TO REVIEW THE DOCUMENTS AND INCLUDE ALL NECESSARY ITEMS TO PROVIDE A COMPLETE OPERATIONAL SYSTEM.
- ANY DISCREPANCIES NOTED BY THE CONTRACTOR SHALL BE BROUGHT TO THE ATTENTIONS OF THE ARCHITECT (IN WRITING) BEFORE BIDDING THIS PROJECT.
- 4. AFTER BIDS ARE TURNED IN, THE CONTRACTOR SHALL COMPLETE THE SYSTEMS AT NO ADDITIONAL COST.
- 5. PLUMBING, MECHANICAL, AND ELECTRICAL SUBCONTRACTORS ARE RESPONSIBLE FOR COORDINATING ALL COMPONENTS TO INSURE COMPLETE AND WORKING SYSTEMS EACH SUBCONTRACTOR SHALL REVIEW ALL DRAWINGS FOR COMPLIANCE.
- 6. THE ARCHITECT WILL BE RESPONSIBLE TO DETERMINE WHICH TRADE SHALL PROVIDE AND INSTALL ANY COMPONENTS MISSED FOR WORKING SYSTEMS AS NEEDED.

(C) COPYRIGHT 2018 MERSHAWN ARCHITECTS, INC. NO PRINTING OR COPING IS ALLOWED

City of Rockwall



Project Plan Review History

Project NameTRUTypeSITSubtypePD	2018-017 J Hotel E PLAN ff Review		Owne Appli		T, JUDY GRACE & IY CORPORATION	LINDA JEAN BRUNET	Applied 6/15/2018 LM Approved Closed Expired Status
Site Address 2600 SUMMER LEE DR		City, State Zi ROCKWALL,	-				Zoning
Cubdiciaian				Diash		Deveel No.	Convertibles
Subdivision ECKERD ADDITION		Tract 2A		Block NULL	Lot No 2A	Parcel No 3160-0000-002A-00	General Plan D-OR
Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status		Remarks
BUILDING	Russell McDowell	6/15/2018	6/22/2018	6/19/2018	4 APPRO	VED	
 Show and label floe Wetland determine Flood study is requination Retaining wall to be a study is requination Parallel parking republic to be a study of the study of the	226.59/acre spection Fees drain to oil/water separa ood plain with cross secti	ator ons and eleva oth concrete e and Glen Hi 0' are needed of curb to wall	per/engineer walls allowe ill Way for building ls on all 18' p ng spaces	r d height. Referen arking	5 COMM ce fire code		See Comments

Type of Review / No	otes Contact	Sent	Due	Received	Elapsed Status	Remarks					
(6/21/2018 12	26 PM AA)										
approved rout	Where a facility or building hereafter constructed within the jurisdiction is more than 600 feet from a hydrant on a fire apparatus access road, as measured by an approved route around the exterior of the facility or building, on-site fire hydrants and mains shall be provided. Fire Hydrant located along Summer Lee is not considered accessable to to topography, unless otherwise proven.										
	The proposed location of the Fire Department Connection (FDC) shall be indicated on the plans. The FDC is required to be along the fire lane and within 100-feet as the hose lays, of a fire hydrant.										
For buildings 30-feet or more and/or 3 or more stories in height minimum interior turning radius of 30 feet is required on all fire lanes.											
GIS	Lance Singleton	6/15/201	.8 6/22/20	18 6/21/2018	6 APPROVED						

PLANNING	Ryan Miller	6/15/2018 6/22/2018 6/20/2018	5 APPROVED	See Comments	

Type of Review / Notes Contact	Sent	Due	Received	Elapsed Status	Remarks
--------------------------------	------	-----	----------	----------------	---------

SP2018-017; Site Plan for Tru Hotel

Please address the following comments (M= Mandatory Comments; I = Informational Comments)

I.1 This is a request for the approval of a site plan for a hotel on a 2.12-acre tract of land identified as portions of Lot 2A, Isaac Brown Addition and Lot 2, Block A, Harbor Village Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 32 (PD-32), situated within the Scenic Overlay (SOV) District and the Interior, Horizon/Summer Lee and Residential Subdistricts of Planned Development District 32 (PD-32), situated within the Scenic Overlay (SOV) District, located adjacent to Summer Lee Drive southwest of the intersection of Horizon Road [FM-3097] and Summer Lee Drive, and take any action necessary. I.2 For questions or comments concerning this case please contact Ryan Miller in the Planning Department at (972) 772-6441 or email rcmiller@rockwall.com. M.3 For reference, include the case number (SP2018-017) in the lower right hand corner of all pages on future submittals.

M.4 Treescape Plan. A treescape plan is required to be submitted showing what trees will be removed and how the removed trees will be mitigated. I.5 Building Layout. The building layout does not conform to the general guidelines contained in Resolution 10-40. Specifically, it does not:

(1) Have a visible building entry off of Summer Lee Drive.

(2) Provide additional landscaping beyond that provided in the right-of-way adjacent to the entry (i.e. landscape pots/plants).

(3) Locate the refuse/service area in a niche or recess in the building's façade or in a parking court screened by the building (i.e. the refuse container is in a location that will be visible from public right-of-way).

I.6 Architecture. The Architectural Guidelines contained in Resolution 10-40 stipulate that the architectural style must meet one (1) of three (3) architectural styles (i.e. Tuscan, Traditional, and Transitional). Based on the proposed elevations and the language in the ordinance, the hotel does not appear to conform to any of the architectural styles. Consider incorporating building materials (i.e. brick) and architectural elements (e.g. balconies, awnings/canopies, roof elements and variation, etc.) that would better meet the requirements of this ordinance. A modulated façade would also help to better bring this project into conformance with the guidelines.

I.7 Architecture. The Architectural Guidelines contained in Resolution 10-40 identify this property as a potential landmark building opportunity which can use, "special forms, roof forms, materials, colors, accent lighting, and additional height allowances as approved by the Architectural Review Board. Tower elements on one to three story buildings may exceed the maximum building height of the subdistrict by 10 feet. Tower elements on four-story or taller buildings may exceed the maximum building does not utilize any of the land mark building opportunity guidelines.

M.8 Building Materials. The subject property is located within the Scenic Overlay (SOV) District, which requires 20% natural stone on all sides of the building. The proposed cultured stone will require an exception by the Planning and Zoning Commission pending a recommendation from the Architectural Review Board (ARB). As an alternative the material can be changed to meet the ordinance requirements.

1.9 Building Materials. Dryvit is an acrylic product and does not meet the 3-part stucco requirements. The use of this material will require discretionary approval by the City Council pending a recommendation from the Architectural Review Board (ARB) and Planning and Zoning Commission.

M.10 Building Elevations. Please indicate the percentage of each material (excluding windows and doors) on each elevation.

M.11 Building Elevations. Please indicate the location and height of all proposed roof top units and demonstrate that they will not be visible from adjacent properties or public right-of-way.

M.12 Building Elevations. The first floor of all buildings in this district are required to be built to a commercial standard of 15-feet.

M.13 Subdistrict Requirements. According to the Horizon/Summer Lee Subdistrict a maximum of 20% (the Interior Subdistrict allows a maximum of ten [10] percent) of all parking must be surface parking. Currently, the plans show the property being 100% surface parked. This will require discretionary approval by the City Council.

M.14 Master Tree Planting Plan. The Master Tree Planting Plan shows that all street trees adjacent to Summer Lee Drive and Glen Hill Way are required to be Cedar Elms. Please change the Landscape Plan to conform to this requirement. Any changes to this requirement requires discretionary approval from the City Council. M.15 Streetscape Plan. Please provide a Streetscape Plan demonstrating conformance to the requirements of Planned Development District 32 (PD-32). This plan will include all right-of-way plantings, required parallel parking areas, street tree locations, required pedestrian elements, and location of all required street lights.

Type of Review / Notes Contact Sent Due Received Elapsed Status Remarks	Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
---	------------------------	---------	------	-----	----------	----------------	---------

M.16 Streetscape Plan. Summer Lee Drive is identified as a Street Type 'O' which, "consists of streetscape improvements and parallel parking dedication on both sides of an existing 29-foot wide street ..." In lieu of the parallel parking look to incorporate additional plantings and pedestrian elements in the large right-of-way space in front of the building. This is also an opportunity to incorporate a pocket park in conformance with the Design Guidelines contained in Resolution 10-40. M.17 Streetscape Plan. Glen Hill Way is identified as a Street Type 'G' which requires parallel parking spaces adjacent to an eight (8) foot sidewalk with street trees in five (5) foot x ten (10) foot leave outs in the parallel parking areas spaced 30-feet on center. The current plan does notmeet the required Streetscape Plan. Please make the necessary changes to the Street Type 'G' on the Site Plan, Landscape Plan and requested Streetscape Plan.

M.18 Photometric Plan. The proposed parking lot light standard does not meet the requirements of Planned Development District 32 (PD-32).

M.19 Photometric Plan. The Photometric Plan does not show the incorporation of any pedestrian scale streetlights in accordance with the streetscape elements required by Planned Development District 32 (PD-32). Please show these lighting standards on the requested Streetscape Plan and show the lighting standard in the Photometric Plans.

M.20 According to Ordinance No. 17-22, the proposed project will require Waivers to the Design Standards for:

(1) Building Placement

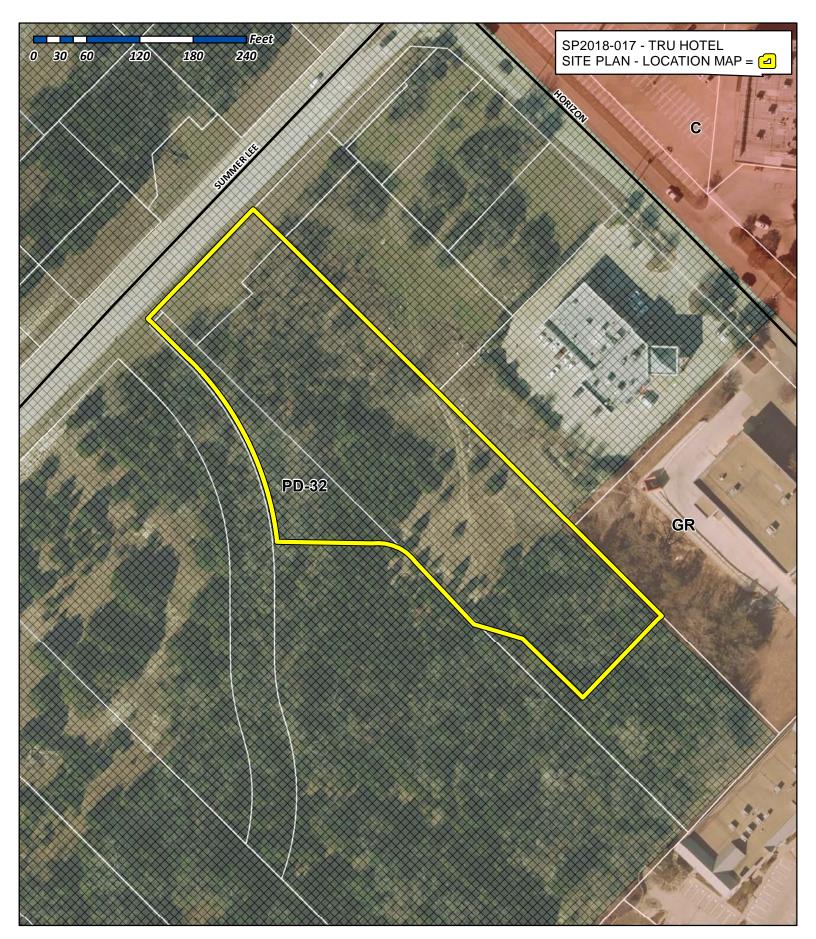
(2) Landscape Standards

(3) Parking Requirements

I.21 The Architectural Review Board (ARB) meeting for this case will be held on June 26, 2018.

I.22 Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any additional information that is requested. Revisions for this case will be due on July 3, 2018; however, it is encouraged for applicants to submit revisions as soon as possible to give staff ample time to review the case prior to the July 10, 2018 Planning & Zoning Meeting. The Planning & Zoning Work Session meeting will be held on June 26, 2018.

1.23 The projected City Council meeting date for this case will be July 16, 2018.

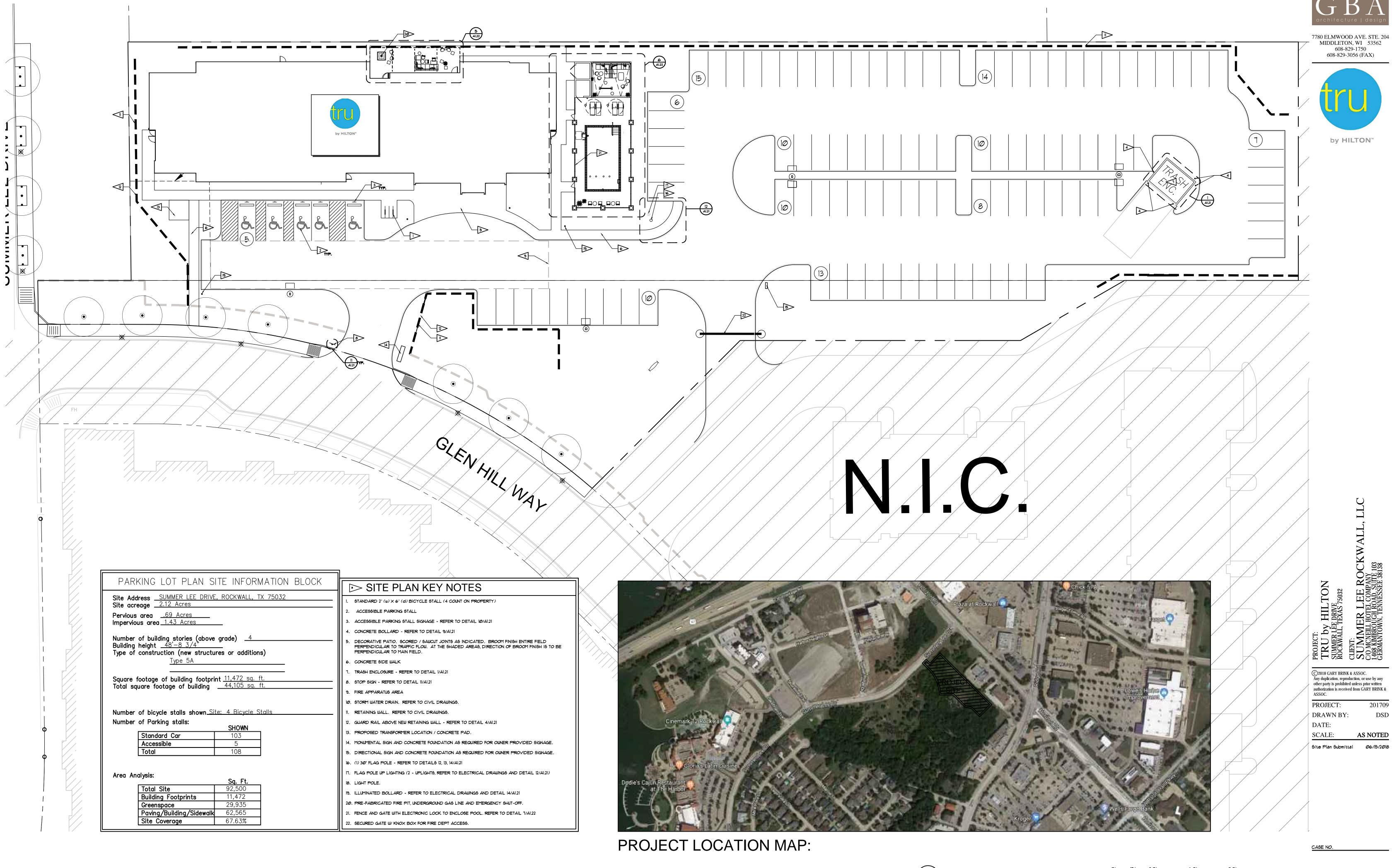




City of Rockwall

Planning & Zoning Department 385 S. Goliad Street Rockwall, Texas 75032 (P): (972) 771-7745 (W): www.rockwall.com The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

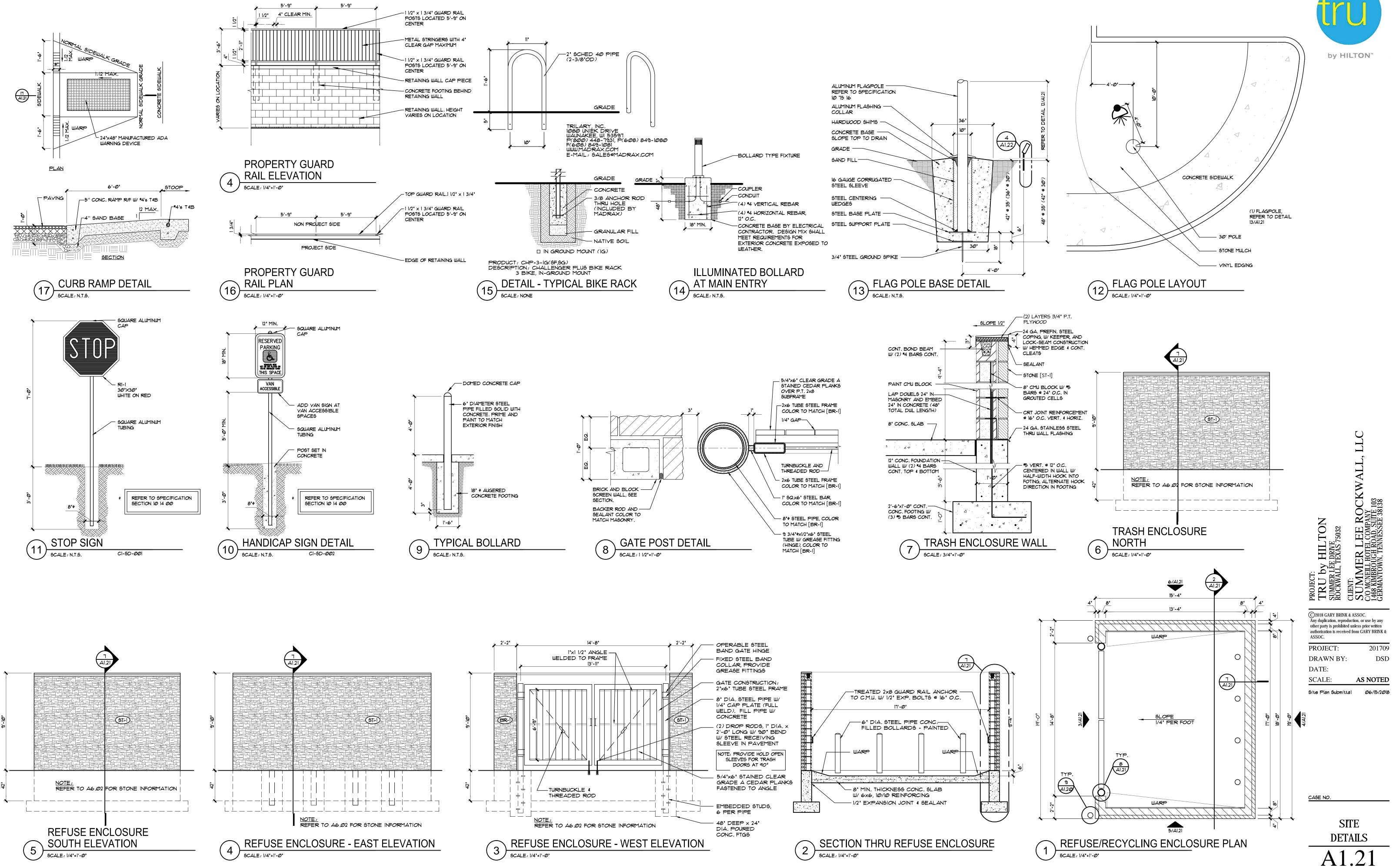


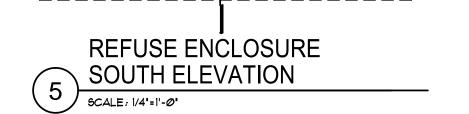


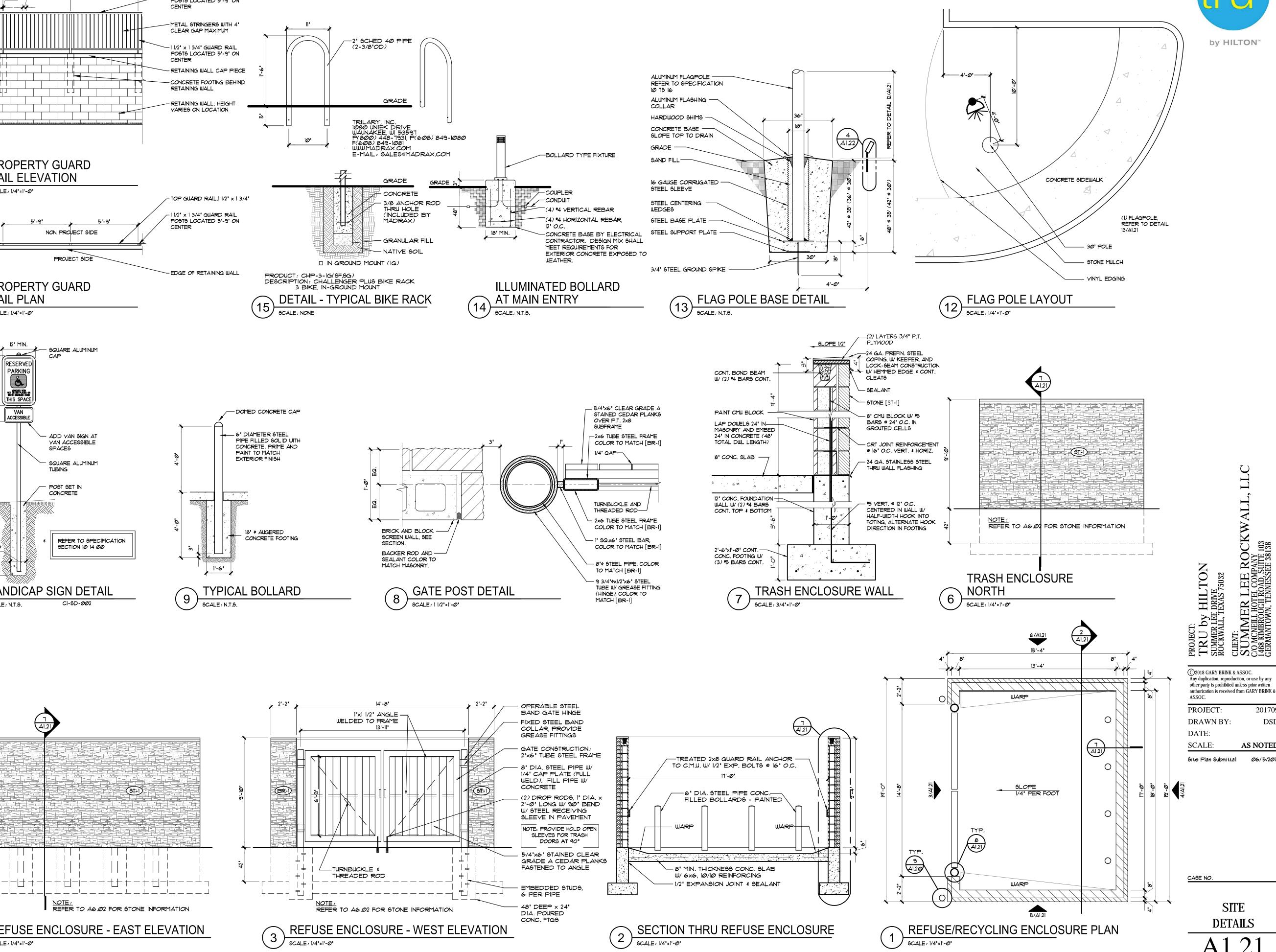


ARCHITECTURAL SITE PLAN

ARCHITECTURAL SITE PLAN A1.01



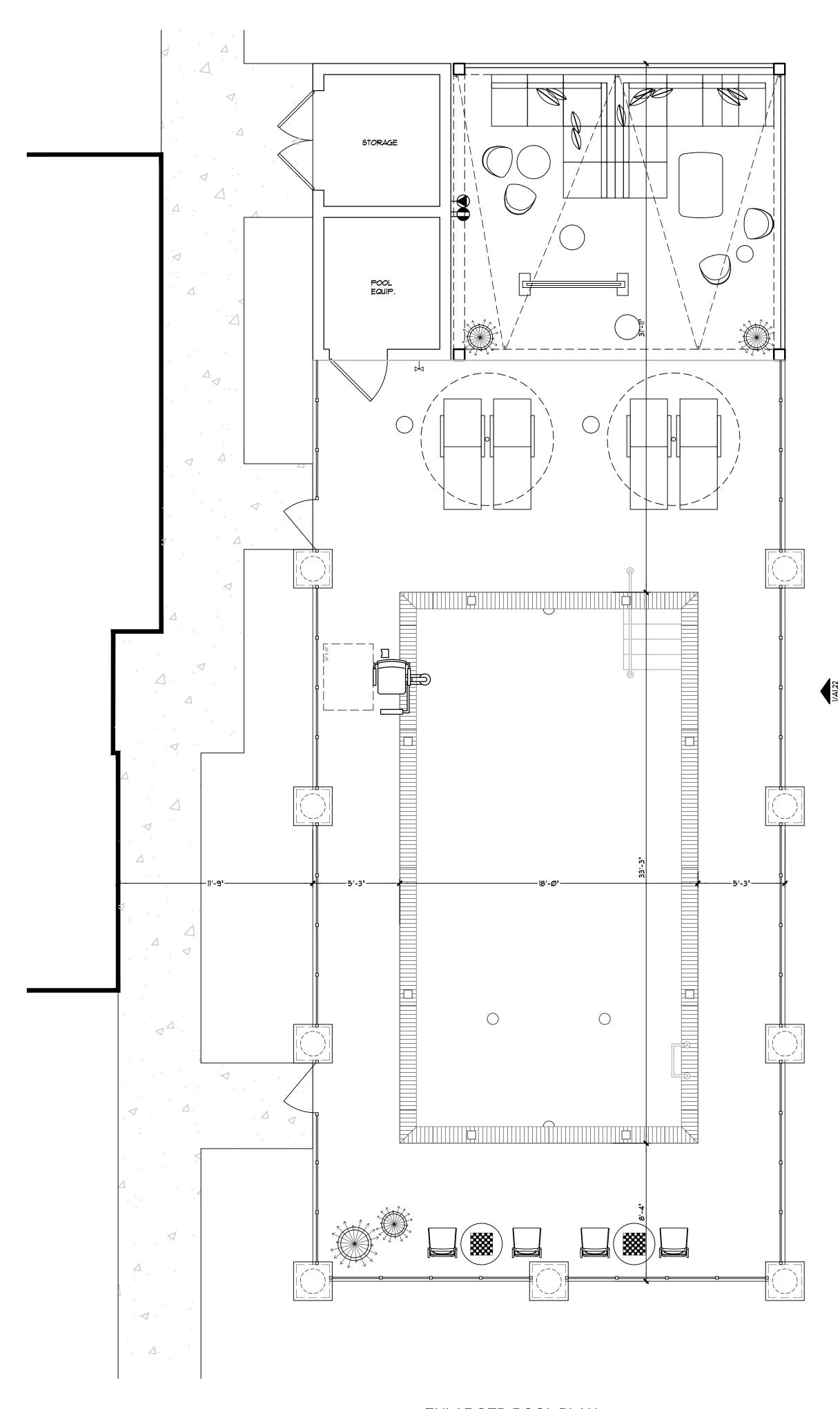




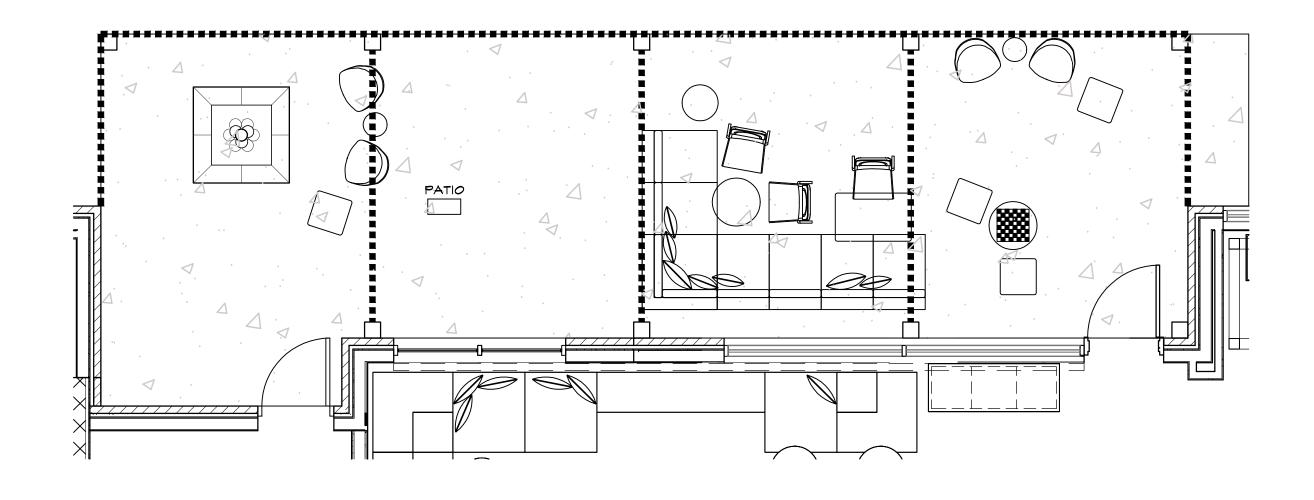


7780 ELMWOOD AVE. STE. 204 MIDDLETON, WI 53562 608-829-1750 608-829-3056 (FAX)

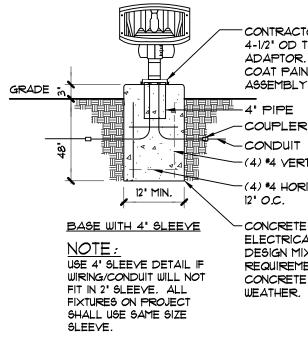




ENLARGED POOL PLAN BCALE : 1/4'=1'-Ø' 6



5 ENLARGED PATIO PLAN SCALE: 1/4"=1'-@"



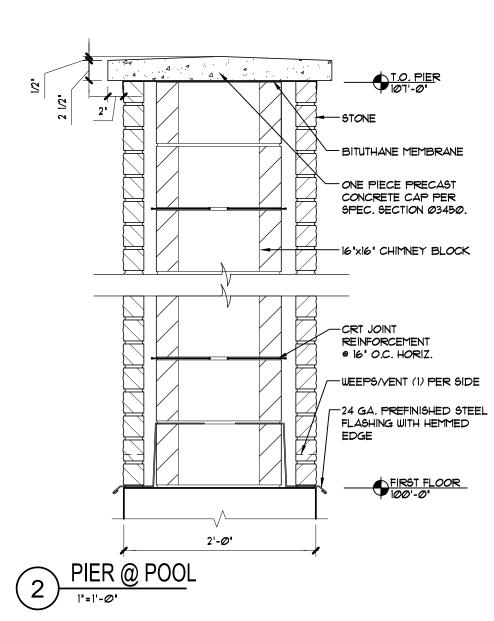
ADAPTOR, POWDER COAT PAINT AFTER ASSEMBLY. -COUPLER

-(4) *4 HORIZONTAL REBAR, 12" O.C.

CONCRETE BASE BY ELECTRICAL CONTRACTOR. DESIGN MIX SHALL MEET REQUIREMENTS FOR EXTERIOR CONCRETE EXPOSED TO WEATHER.









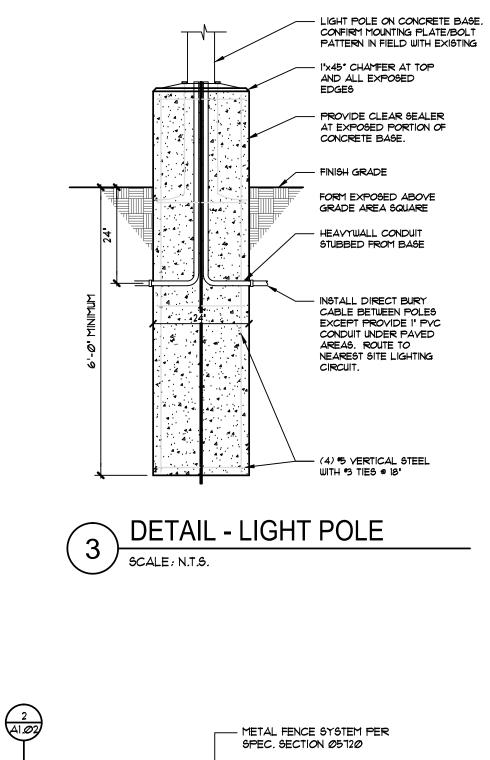
7780 ELMWOOD AVE. STE. 204 MIDDLETON, WI 53562 608-829-1750 608-829-3056 (FAX)

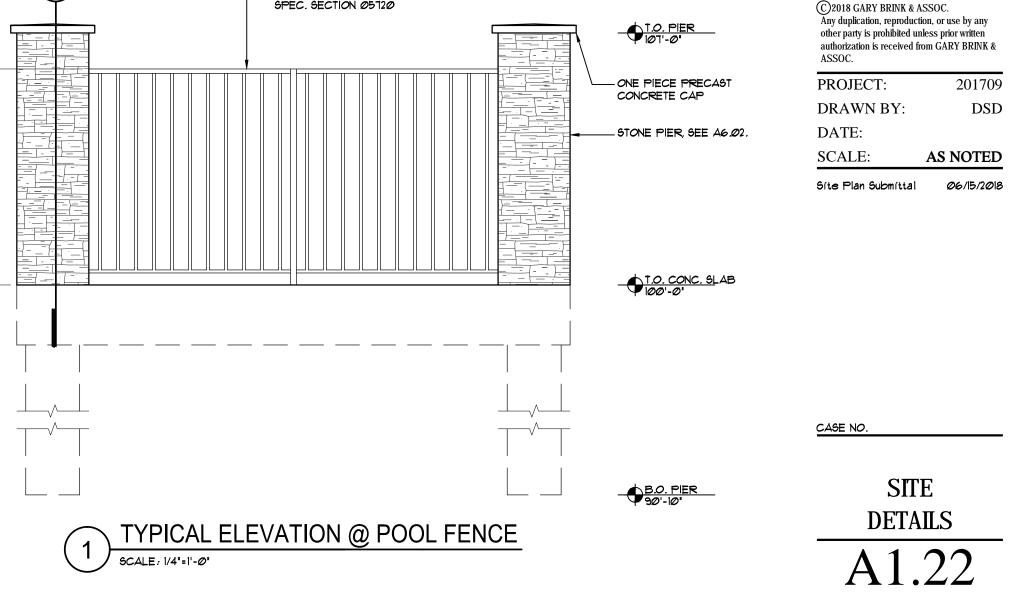


PROJECT: TRU by HILTON SUMMER LEE DRIVE ROCKWALL, TEXAS 75032 CLIENT: CLIENT: SUMMER LEE ROCKWAL CO MCNEIL HOTEL COMPANY CO MCNEIL HOTEL COMPANY CO MCNEIL HOTEL COMPANY 1468 KIMBROUGH ROAD, SUITE 103 GERMANTOWN, TENNESSEE 38138

201709

DSD





PLANT MINIMUM CRITERIA STATEMENT 1. PLANTS ARE REQUIRED TO MEET MINIMUM SPECIFICATIONS OF THE AMERICAN STANDARD FOR & LANDSCAPE ASSOCIATION, MAY 12, 204, AND RECOMMENDED BY THE TEXAS NURSERY & LANDSCAPE

GRASS NOTES FOR BIDDING 1. BASE BID ALL SOD IS TO BE COMMON BERMUDA GRASS. 2. ADD ALTERNATE #1 GRASS ALL FOR A CHANGE TO ZOYZIA SUN AND SHADE TOLERANT GRASS. INSTALL BE SOIL AMENDMENT NOTES. 3. REMOVE ALL EXISTING GRASSES FROM SITE PRIOR TO INSTALLATION. COLOR AS NOTED

1. BASE BID ALL COLOR BEDS TO INCLUDE (4) FOUR 4" POTS PER SQ FT. INSTALLED 1) 67 PREPARED SOIL FOR FOR FLOWERING PLANTS. 2. INCLUDE COLOR STAR FERTILIZER.

3. BEDS TO BE RAISED 3-4" HIGH AND SLOPED TO DRAIN. 4. OPTIONS FOR COLOR ARE AS FOLLOWS:

DEPTHONS FOR GOLDAN THE HITE FLOWERS. 1. BEGONIA. GREEN WITH WHITE FLOWERS. OPTIONAL PLANT MATERIALS: PRINCE FOR OWNER REVIEW 1. DWARF REULLA WHITE, 4" POTS. 2 PER SQ FOOT. I. DWARF REULLA WHITE, 4" POTS. 2 PER SQ FOOT. 2. MEXICAN FEATHER GRASS, 1 GAL., (1) ONE PER SQ F

SOIL AMENDMENT NOTES (LISTED FOR BASE BID) INCLUDE THE NOTES BELOW AND LANDSCAPE SPECIFICATIONS ON SHEET L2-02

SOIL PREPARATION FOR GRASS AREAS ON SITE. 1. SPRAY ROUND UP TWO TIMES IN HEAT OVER 70 DEGREES OR MANUALLY REMOVE THE EXISTING BERMUDA GRASS, TWO WEEKS PRIOR TO SITE WORK AND IRRIGATION SYSTEM INSTALLATION FOR THE TOTAL SITE AREA, CONTINUE TO REVIEW AND REMOVE ALL BERMUDA GRASS AND WEEDS FORM THE COLT DURING CONFERNMENT.

WEEDS FROM THE SITE DURING CONSTRUCTION. 2. FINE GRADE SOIL AFTER SITE CLEAN UP PER THE APPROVED GRADING AND DRAINAGE PLANS FOR THE SITE. SW-2 CONTRACTOR HAS THE PLAN ON FILE. OR CALL FOR A PDF FILE.

ON FILE. OR CALL FOR A PDF FILE. 3. REMOVE ALL DEBRIS FROM SITE. ROCKS AND TILES OVER 1" DIA. ALL EXTRA CONCRETE, FORM BOARDS. 4. HAND RAKE SOIL SMOOTH AND SHAPE BEDS AND EDGES OF BACK OF CURB PER LANDSCAPE ARCHITECTS DIRECTIONS. CALL TO SET UP MEETING PRIOR TO ACCEPTANCE OF THE FINAL GRADE. 5. AFTER IRRIGATION SYSTEM INSTALLATION. WATER SETTLE ALL TRENCHES AND RAKE SMOOTH FOR FINISHED GRADES FOR THE SITE. 6. INSTALL SOD SOD GRASS, ALLOWING FOR TIGHT JOINTS BETWEEN ALL SECTIONS OF SOD. DO NO LEAVE GAPS OR ADD AZALEA MIX IN ALL GAPS OVER 0.5" TO FILL IN AFTER SODDING IE GAPS REMAIN

OVER 0.5" TO FILL IN AFTER SODDING IF GAPS REMAIN. 7. WATER AND ROLL THE SOD TWO TIMES. 8. IN BASE BID ALLOW FOR ONE (1) TIME MOWING AND EDGING PRIOR TO

SOIL PREPARATION FOR 4" POTS AND 1 GALLON GROUND COVER BEDS

1. SOIL AMENDMENTS. EXCAVATE BEDS OR ALLOW FOR 4" SOIL PREPARED BY LIVING EARTH TECHNOLOGY OR EQUAL. 2. TILL IN TO DEPTH OF 8" AND MIX WITH NATIVE SOIL. A. INSTALL BEDDING PLANTS SETTING THE TOP OF BALLS, MINIMUM 0.5" ABOVE SOIL GRADE.

4. MULCH 2" WITH FINE PINE BARK MULCH OR HARDWOOD MULCH. 5. IN BASE BID ALLOW FOR FINE PRUNING AS REQUIRED BY GENERAL CONTRACTOR PRIOR TO FINAL ACCEPTANCE.

SOIL PREPARATION FOR 3 GALLON AND 5 GALLON SHRUB BEDS 1. SOIL AMENDMENTS. EXCAVATE BEDS OR ALLOW FOR 6" SOIL PREPARED BY LIVING EARTH TECHNOLOGY OR EQUAL.

2. TILL IN TO DEPTH OF 12" AND MIX WITH NATIVE SOIL. 3. INSTALL SHRUBS PLANTS SETTING THE TOP OF BALLS, MINIMUM 1.5" ABOVE SOIL GRADE. 4. MULCH 2" WITH FINE PINE BARK MULCH OR HARDWOOD MULCH. 5. IN BASE BID ALLOW FOR FINE PRUNING AS REQUIRED BY GENERAL CONTRACTOR PRIOR TO FINAL ACCEPTANCE.

SOIL PREPARATION FOR 25 GALLON AND 65 GALLON SHRUB BEDS 1. SOIL AMENDMENTS. EXCAVATE BEDS OR ALLOW FOR 8" SOIL PREPARED BY LIVING EARTH TECHNOLOGY OR EQUAL. TILL IN TO DEPTH OF 16" AND MIX WITH NATIVE SOIL. 3. INSTALL SHRUBS PLANTS SETTING THE TOP OF BALLS, MINIMUM 2.5" 4. MULCH 3" WITH FINE PINE BARK MULCH OR HARDWOOD MULCH. 5. IN BASE BID ALLOW FOR FINE PRUNING AS REQUIRED BY GENERAL CONTRACTOR PRIOR TO FINAL ACCEPTANCE.

SOIL PREPARATION FOR 100 GALLON AND LARGER TREES 1. SEE TREE PLANTING ON LA-2.

LANDSCAPE NOTES

1. CONTRACTOR SHALL BE RESPONSIBLE FOR BEING FAMILIAR WITH ALL UNDERGROUND UTILITIES, PIPES, AND STRUCTURES. CONTRACTOR SHALL TAKE SOLE RESPONSIBILITY FOR ANY COST INCURRED DUE TO DAMAGE OF SOIL UTILITIES.
SOIL UTILITIES.
SOIL UTILITIES.
SOIL UTILITIES.
SOLATION SHALL NOT WILLFULLY PROCEED WITH CONSTRUCTION AS DESIGNED WHEN IT IS OBVIOUS THAT UNKNOWN OBSTRUCTIONS, AND/OR GRADE DIFFERENCES EXIST THAT MAY NOT HAVE BEEN KNOWN DURING DESIGN. SUCH CONDITIONS SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT AT (972)869–3535. THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ALL NECESSARY REVISIONS DUE TO FAILURE TO GIVE SUCH NOTIFICATION.
CONTRACTOR SHALL BE RESPONSIBILE FOR ANY COORDINATION WITH GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR ANY COORDINATION WITH GENERAL CONTRACTOR SHO DURACTOR SA DESUGONTRACTORS AS REQUIRED TO ACCOMPLISH PLANTING OPERATIONS.
IF CONFLICTS ARISE BETWEEN SIZE OF AREAS AND PLANS, CONTRACTOR IS TO CONTACT LANDSCAPE ARCHITECT FOR RESOLUTION. FAILURE TO MAKE SUCH CONFLICTS KNOWN TO THE LANDSCAPE ARCHITECT MATERIALS.
ALL PLANT MATERIAL SHALL BE APPROVED BY THE LANDSCAPE ARCHITECT AND OWNER PRIOR TO INSTALLATION.
FINAL LOCATION OF ALL PLANT MATERIAL SHALL BE SUBJECT THE APPROVAL OF THE LANDSCAPE ARCHITECT AND OWNER PRIOR TO INSTALLATION.
FINAL LOCATION OF ALL PLANT MATERIAL SHALL BE SUBJECT THE APPROVAL OF THE LANDSCAPE ARCHITECT AND OWNER PRIOR TO INSTALLATION.
FINAL LOCATION OF ALL PLANT MATERIAL SHALL BE SUBJECT THE APPROVAL OF THE LANDSCAPE ARCHITECT AND OWNER. PRIOR TO TO COMMENCEMENT OF WORK TO COORDINATE PROJECT INSPECTION SCHEDULES.
CONTRACTOR SHALL NOTIFY LANDSCAPE ARCHITECT 48 HOURS PRIOR TO COMMENCEMENT OF WARK TO CONSINATE PROJECT INSPECTION SCHEDULES.
CONTRACTOR SHALL BED DUG OUT BY THE ROOTS AND REMOVED FROM THE SITE.
ALL PANTING AREA SHALL SLOPE AWAY FROM BUILDINGS TOWARDS THE AREA DRAINS AT AZZININIMUM SLOPE.
ALL PANTING AREA SHALL SLOPE AWAY FROM BUILDINGS TOWARDS THE AREA DRAINS AT AZZININIMUM SLOPE.
ALL PANTING AREA SHALL SLOPE AWAY FROM BUILDINGS TOWARDS THE AREA DRAINS AT AZZININIMUM SLOPE.</ OIL UTILITIES. 2. CONTRACTOR SHALL NOT WILLFULLY PROCEED WITH CONSTRUCTION AS 11. CROWN OF AL PLANT ROOT SYSTEMS SHALL BE SLIGHTLY HIGHER AFTER SETTLING ADJACENT SOLL '2. TREE STAKING AND GUYING METHODS, TO CONFORM TO SITE SETTLETIC STANDARDS. 12. TREE STAKING AND GUYING METHODS, TO CONFORM TO SITE AESTHETIC STANDARDS.
RESPONSIBLE FOR THE TREE'S STABILITY FOR THE DURATION OF THE WARRANTY PERIOD.
13. SHRUBS, GROUND COVERS, AND SEASONAL COLOR SHALL BE TRIANGULARLY SPACED AT SPAN SHOWN ON PLANT LIST AND SHALL RECEIVE A 2" LAYER OF LAYER OF MULCH.
14. ALL GROUND COVERS TO BE HELD BACK 12' FROM EDGE OF SHRUB PLANTING AREAS AND 6' FROM EDGE OF PAVING, ALL PLANTING BEDS TO BE DIVIDED FROM SOD WITH STEEL EDGING, TYPICAL.
15. SEASONAL COLOR WILL BE SELECTED BY THE LANDSCAPE ARCHITECT PRIOR TO THE INSTALLATION TIME. OWNER MAY SELECT COLOR FOR EACH SEASON TO FOLLOW.
16. ALL TREES SHALL BE LOCATED A MINIMUM OF 4 FEET FROM WALLS, HEADERS, WALKS, AND OTHER TREES WITHIN THE PROJECT AND CONFORM TO THE SITE AESTHETIC STANDARDS. IF CONFLICTS THEN CONTACT LANDSCAPE ARCHITECT FOR RESOLUTION. FAILURE TO MAKE SUCH CONFLICTS KNOWN TO THE LANDSCAPE ARCHITECT WILL RESULT IN CONTRACTOR LIABUILTY TO RELOCATE THE MATERIALS.
17. SLOPE AREA SHALL NOT HAVE PLANTING INSTALLED UNTIL ALL GULLIES TO RUTS HAVE FILLED IN WITH ADJACENT SOIL AND COMPACTED.
18. LANDSCAPE CONTRACTOR TO RECEIVE SITE GRADED +/- .10 OF 1' OF FINISHED 3. LANDSCAPE CONTRACTOR TO RECEIVE SITE GRADED +/- .10 OF 1' OF FINISHED GRADE. 19. IT IS THE CONTRACTORS RESPONSIBILITY TO FURNISH PLANT MATERIALS FREE OF PEST OR PLANT DISEASE. IT IS THE CONTRACTORS OBLIGATION TO WARRANTY ALL PLANT MATERIAL FOR 365 DAYS FROM FINAL COMPLETION

DATE. 20. STEEL EDGING SEE NOTES THIS SHEET. NOTE 1. STEEL EDGING IS REQUIRED TO BE INSTALLED SO THAT THE HEIGHT OF THE STEEL EDGING IS NO GREATER THAN THE HEIGHT OF ADJACENT FRESHLY MOWED GRASS. (EDGING IS NOT INTENDED TO BE A VISUAL COMPONENT OF THE LANDSCAPE NOR TO HOLD BACK PLANTING BEDS BUT TO SEPARATE LAWN AREAS FROM PLATING BEDS FOR THE PURPOSE OF PREVENTING, E.G. BY REGULAR WEEDEATER TRIMMING, GRASS FROM ENTERING THE PLANTING BED.) AS A RULE OF THUMB, EDGING SHOULD BE INSTALLED PRIOR TO SODDING AT A HEIGHT NO GREATER THAN TWO INCHES (2") ABOVE FINISHED UNSODDED GRADE.

LANDSCAPE IRRIGATION WARRANTEE

1. LANDSCAPE CONTRACTOR SHALL WARRANTEE ALL PLANT MATERIAL FOR A PERIOD OF ONE YEAR FROM TIME OF FINAL ACCEPTANCE AND PAYMENT OF THE COMPLETED WORK. 2. IRRIGATION SYSTEM SHALL BE WARRANTED FOR ONE YEAR PARTS AND LABOR FOR NEW ITEMS.

IRRIGATION AFFIDAVIT

ALL REQUIRED LANDSCAPE AREAS SHALL BE PROVIDED WITH AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM WITH RAIN AND FREEZE SENSORS AND EVAPOTRANSPORATIVE (ET) WEATHER BASED CONTOLLERS ANS SAID IRRIGATION SYSTEM SHALL BE DESIGNED BY A QUALIFIED PROFESSIONAL AND INSTALLED LICENSED IRRIGATOR.

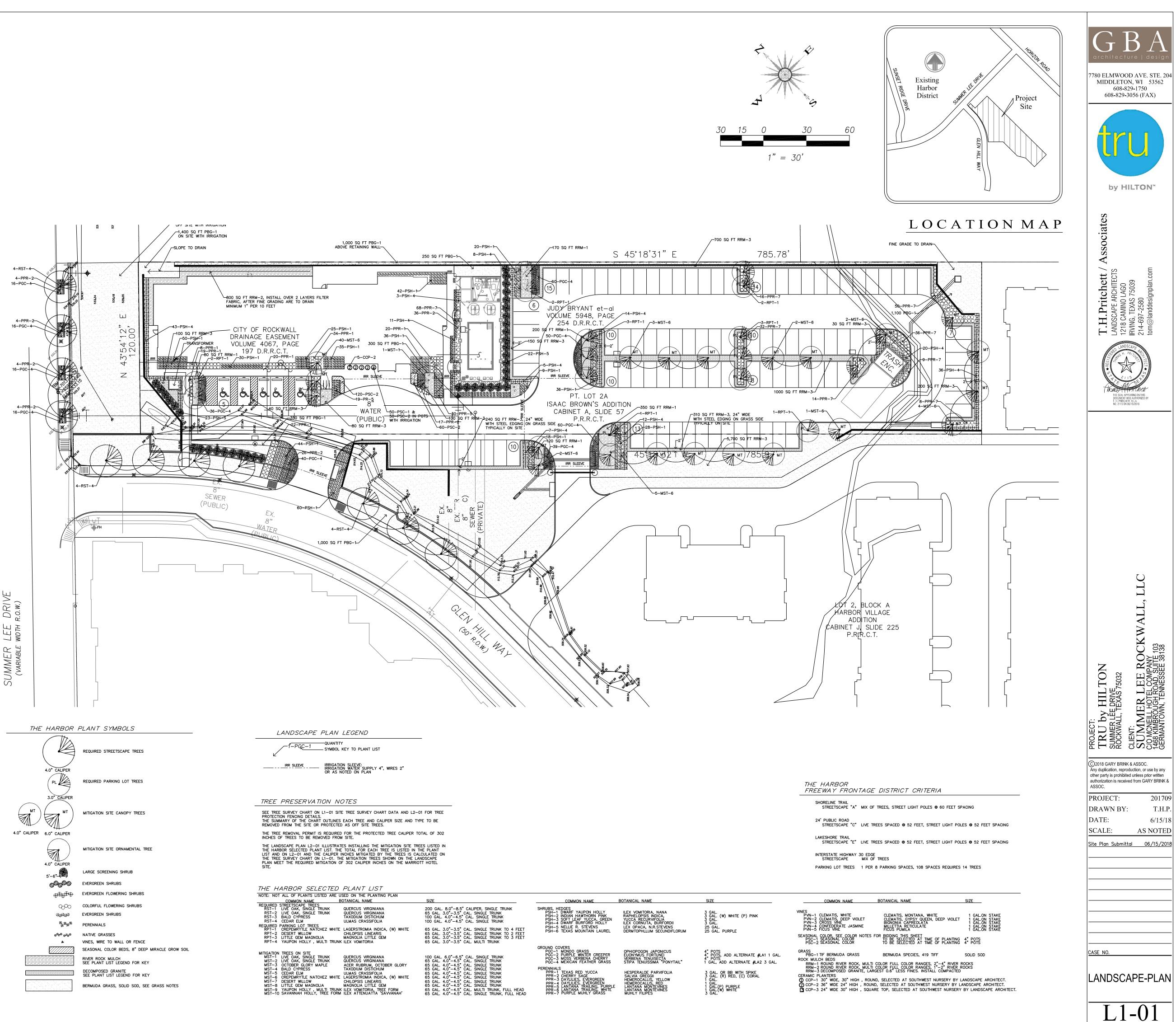
CITY OF ROCKWALL MAINTENANCE NOTE;

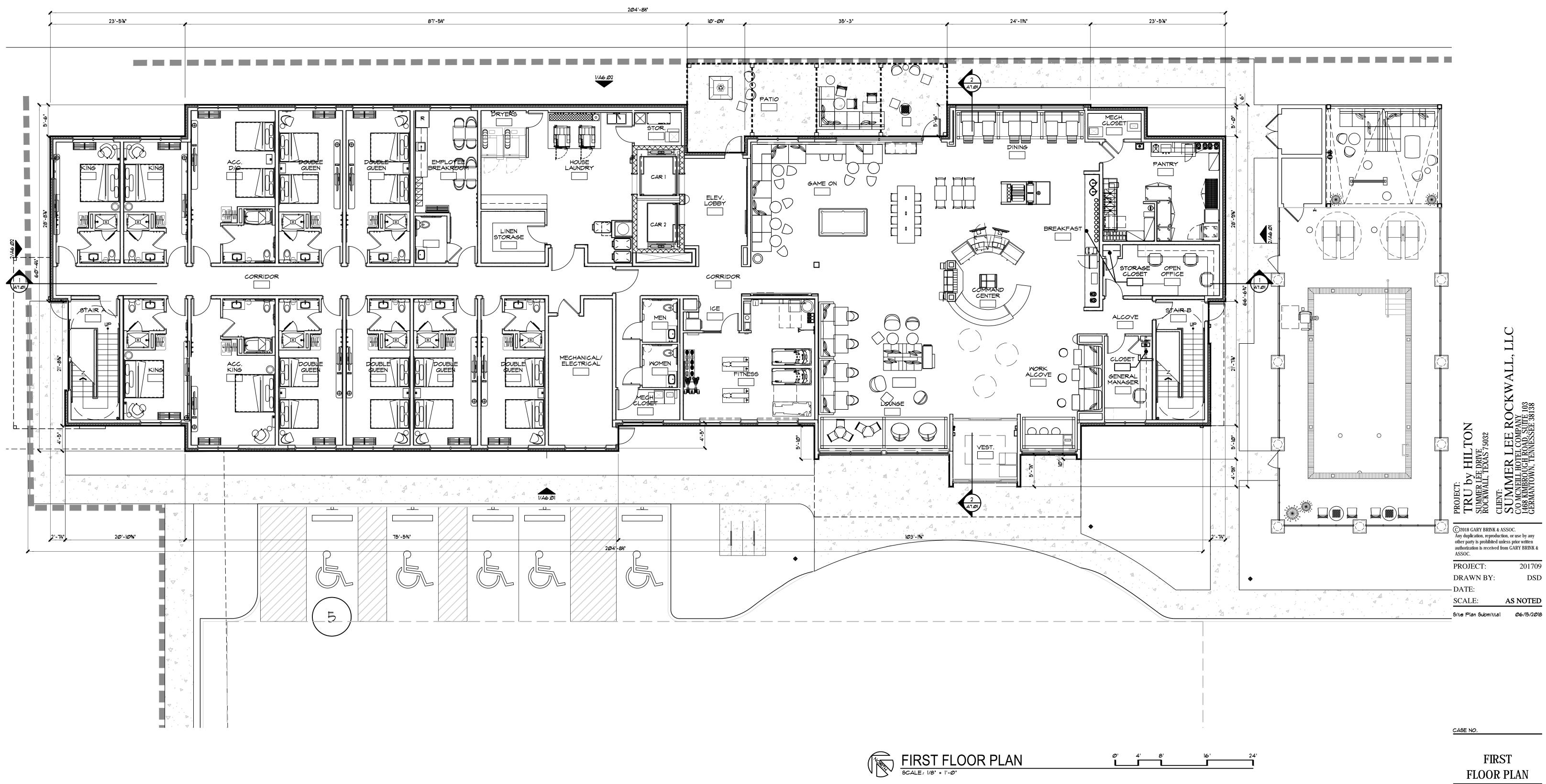
MAINTENANCE: THE CURRENT OWNER AND SUBSEQUENT OWNERS OF THE LANDSCAPED PROPERTY, OR MANAGER OR AGENT OF THE OWNER, SHALL BE RESPONSIBLE FOR MAINTENANCE OF ALL THE LANDSCAPED AREAS AND MATERIALS, REQUIRED BUFFER YARD MAINTENANCE OF ALL THE LANDSCAPED AREAS AND MATERIALS, REQUIRED BOFFER TARD AREAS AND MATERIALS AND REQUIRED SCREENING MATERIALS. SAID AREAS MUST BE MAINTAINED O AS TO PRESENT A HEALTHY, NEAT AND ORDERLY APPEARANCE AT ALL TIMES AND SHALL BE KEPT FREE OF REFUSE AND DEBRIS. MAINTENANCE WILL INCLUDE REPLACEMENT OF ALL DEAD PLANT MATERIAL IF THAT MATERIAL WAS USED TO MEET THE DECUMPENTED AT THE MOST AND ADDID TO MEET THE REQUIREMENTS OF THE UDC. ALL SUCH PLANTS SHALL BE REPLACED WITHIN (6) SIX MONTHS OF NOTIFICATION, OR BY THE NEXT PLANTING SEASON, WHICH EVER COMES FIRST. A PROPERTY/HOMEOWNERS ASSOCIATION MAY ASSUME RESPONSIBILITY FOR MAINTENANCE

OF COMMON AREAS. ROOT BARRIERS AT UTILITIES AND PAVING EDGES 1. NO TREE SHALL BE PLANTED WITHIN 5 FEET OF ALL UTILITIES WATER, SEWER, ELEC, CABLE, STORM, ECT.

2. ROOT BARRIERS ARE REQUIRED ON ALL TREES WITHIN UTILITY EASEMENTS AND AT EDGE OF PAVING WITHIN 5 FEET. PROVIDE ON ALL TREES SHOWN, UNLESS NOTED 3. DEEP ROOT BARRIERS, 1-800-458-7668, INSTALL UB-48-2 PER SPECIFICATIONS AT EACH TREE ON SIDE OF

PAVING OR UTILITY. INCLUDE 4" WIDE TRENCH OF 3/4" DRAIN GRAVEL ON OUT SIDE OF BARRIER, 24" DEEP. BARRIER TO EXTEND 1" ABOVE GRADE.





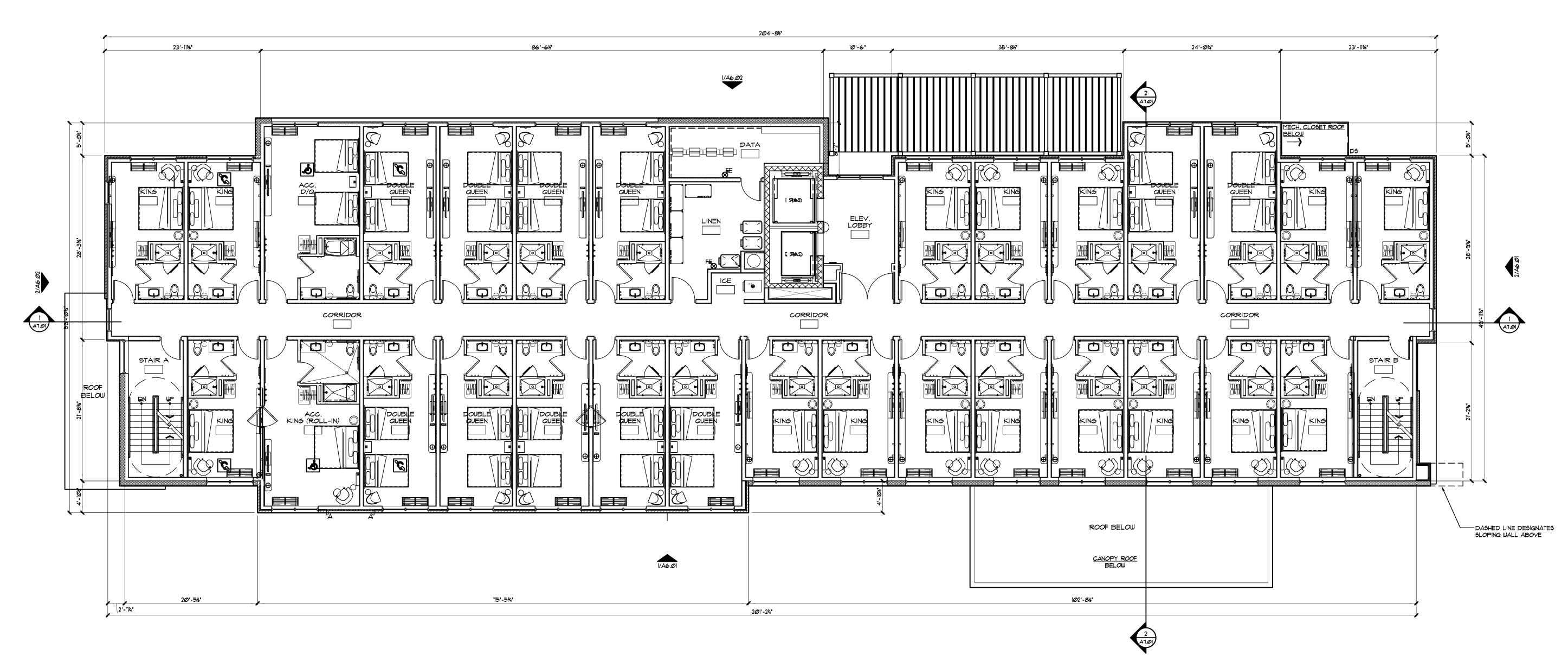




7780 ELMWOOD AVE. STE. 204 MIDDLETON, WI 53562 608-829-1750 608-829-3056 (FAX)



A2.01

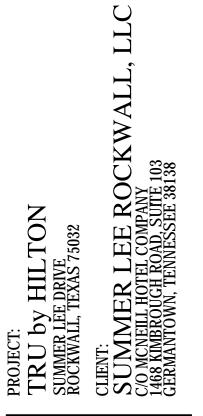






7780 ELMWOOD AVE. STE. 204 MIDDLETON, WI 53562 608-829-1750 608-829-3056 (FAX)

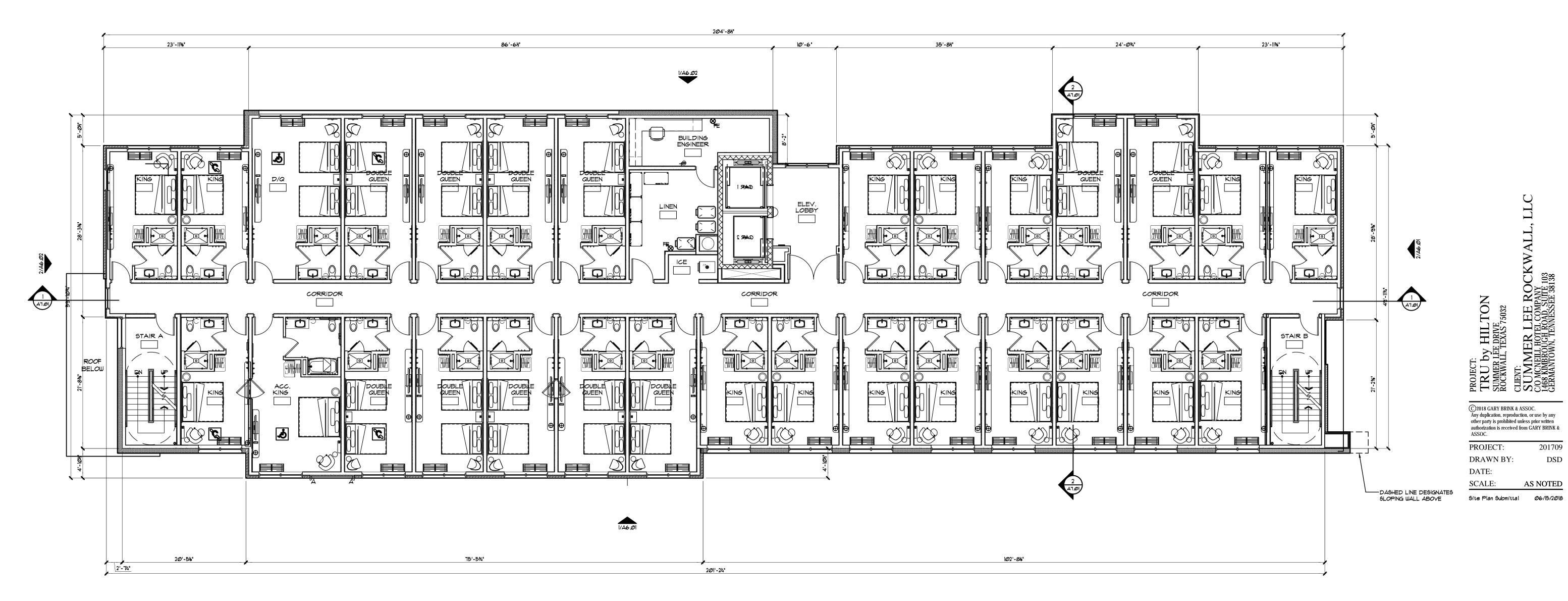




© 2018 GARY BRINK & A Any duplication, reproduct other party is prohibited ur authorization is received fi ASSOC.	ion, or use by any iless prior written
PROJECT:	201709
DRAWN BY:	DSD
DATE:	
SCALE:	AS NOTED
Síte Plan Submíttal	Ø6/15/2Ø18

CASE NO.

SECOND FLOOR PLAN A2.02

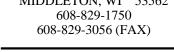






7780 ELMWOOD AVE. STE. 204 MIDDLETON, WI 53562







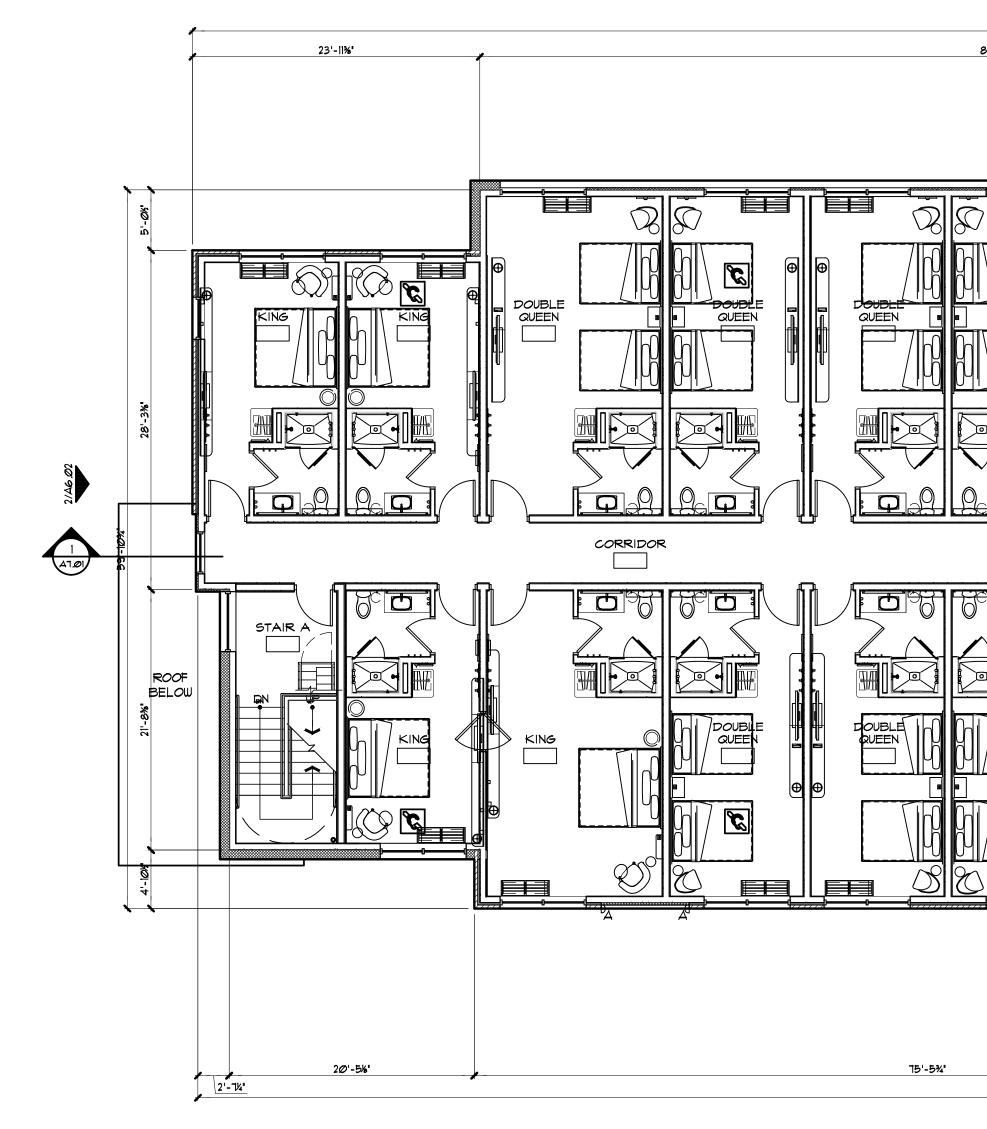




201709

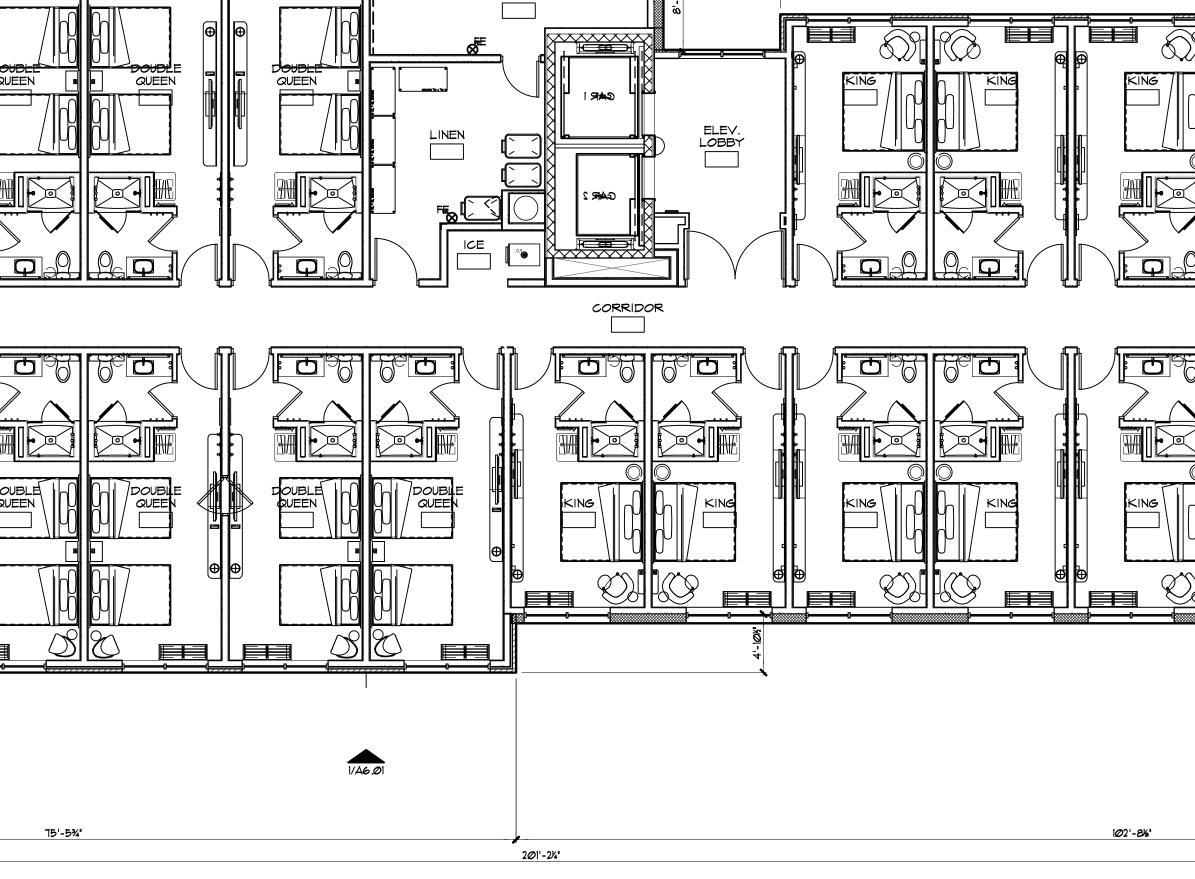
DSD

©' 4' 8' L____





 \sim



2Ø4'-85

1/A6.Ø2

STORAGE

10'-6"

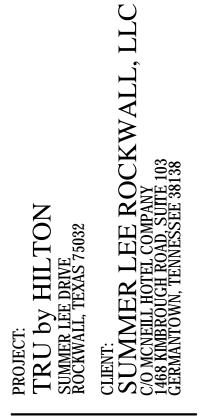
86'-6%



7780 ELMWOOD AVE. STE. 204 MIDDLETON, WI 53562 608-829-1750 608-829-3056 (FAX)



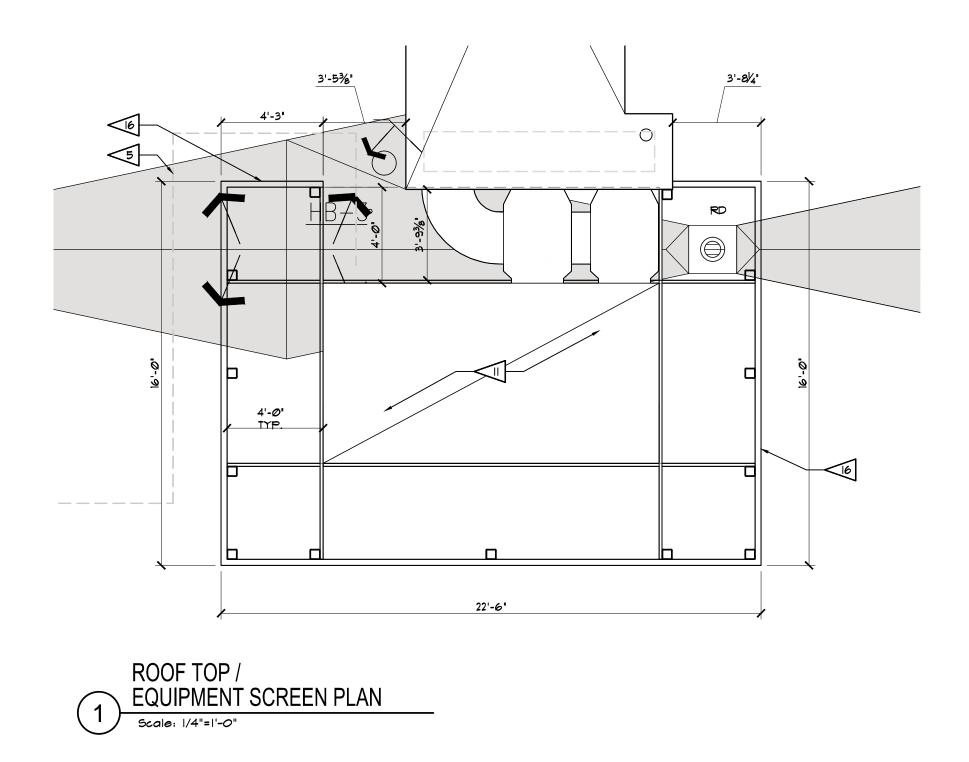
24'-*Ø*¾**'** 23'-II**%**' A7.Ø1. \bigcirc \sim ╧╧┝─────[╋]╧╧┝───── 2/46 1 A7.Ø1 _____ KING KING \ KING 2

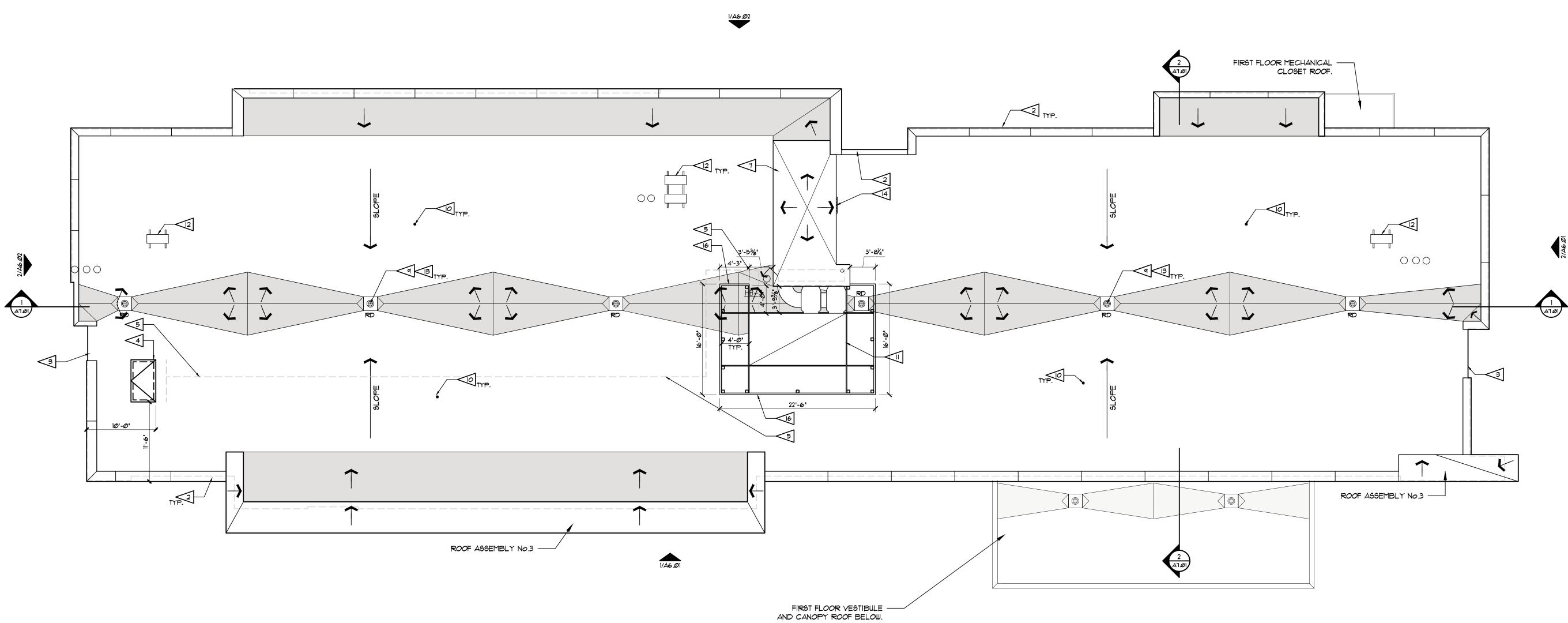


©2018 GARY BRINK & A Any duplication, reproduct other party is prohibited un authorization is received fi ASSOC.	ion, or use by any nless prior written
PROJECT:	201709
DRAWN BY:	DSD
DATE:	
SCALE:	AS NOTED
Síte Plan Submíttal	Ø6/15/2Ø18

CASE NO.

FOURTH FLOOR PLAN A2.04





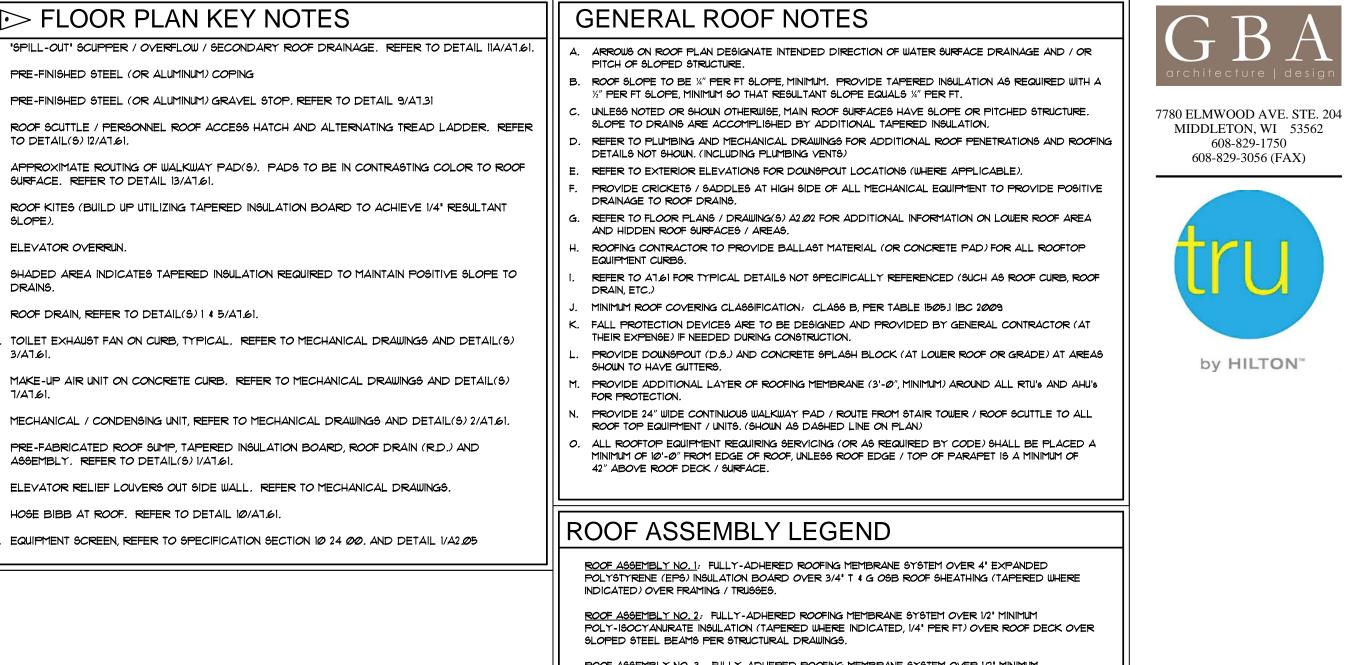
▷ FLOOR PLAN KEY NOTES

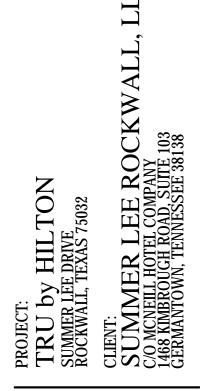
'SPILL-OUT' SCUPPER / OVERFLOW / SECONDARY ROOF DRAINAGE. REFER TO DETAIL 11A/A1.61.

- PRE-FINISHED STEEL (OR ALUMINUM) COPING
- PRE-FINISHED STEEL (OR ALUMINUM) GRAVEL STOP. REFER TO DETAIL 9/A1.31
- ROOF SCUTTLE / PERSONNEL ROOF ACCESS HATCH AND ALTERNATING TREAD LADDER. REFER TO DETAIL(S) 12/A7.61.
- APPROXIMATE ROUTING OF WALKWAY PAD(6), PADS TO BE IN CONTRASTING COLOR TO ROOF
- SURFACE. REFER TO DETAIL 13/A1.61.
- SLOPE).
- ELEVATOR OVERRUN.
- SHADED AREA INDICATES TAPERED INSULATION REQUIRED TO MAINTAIN POSITIVE SLOPE TO DRAINS.
- 9. ROOF DRAIN, REFER TO DETAIL(6) 1 & 5/47.61.
- 10. TOILET EXHAUST FAN ON CURB, TYPICAL. REFER TO MECHANICAL DRAWINGS AND DETAIL(S) 3/A7.61.
- MAKE-UP AIR UNIT ON CONCRETE CURB. REFER TO MECHANICAL DRAWINGS AND DETAIL(S) 1/A7.61.
- . MECHANICAL / CONDENSING UNIT, REFER TO MECHANICAL DRAWINGS AND DETAIL(S) 2/47.61.
- PRE-FABRICATED ROOF SUMP, TAPERED INSULATION BOARD, ROOF DRAIN (R.D.) AND ASSEMBLY. REFER TO DETAIL(S) 1/A7,61.
- 14. ELEVATOR RELIEF LOUVERS OUT SIDE WALL. REFER TO MECHANICAL DRAWINGS.
- 15. HOSE BIBB AT ROOF. REFER TO DETAIL 10/A7.61.
- 16. EQUIPMENT SCREEN, REFER TO SPECIFICATION SECTION 10 24 00. AND DETAIL 1/A2.05



24'





©2018 GARY BRINK & A Any duplication, reproduct other party is prohibited ur authorization is received fi ASSOC.	ion, or use by any nless prior written
PROJECT:	201709
DRAWN BY:	DSD
DATE:	
SCALE:	AS NOTED
Síte Plan Submíttal	Ø6/15/2Ø18



ROOF ASSEMBLY NO. 3: FULLY-ADHERED ROOFING MEMBRANE SYSTEM OVER 1/2' MINIMUM POLY-ISOCYANURATE INSULATION (TAPERED WHERE INDICATED, 1/4' PER FT) OVER 3/4' T & G OBB ROOF SHEATHING OVER WOOD FRAMING MEMBERS (PER STRUCTURAL / DETAILS INDICATED.





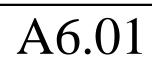




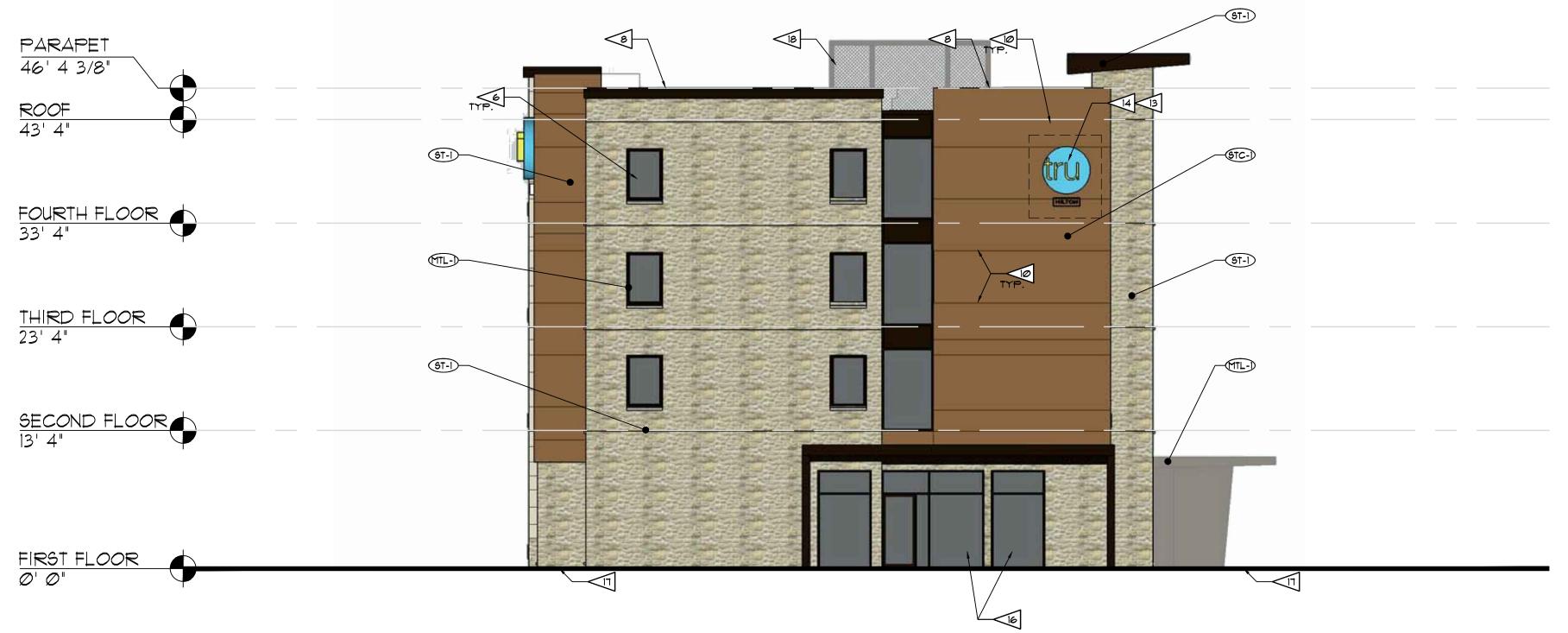


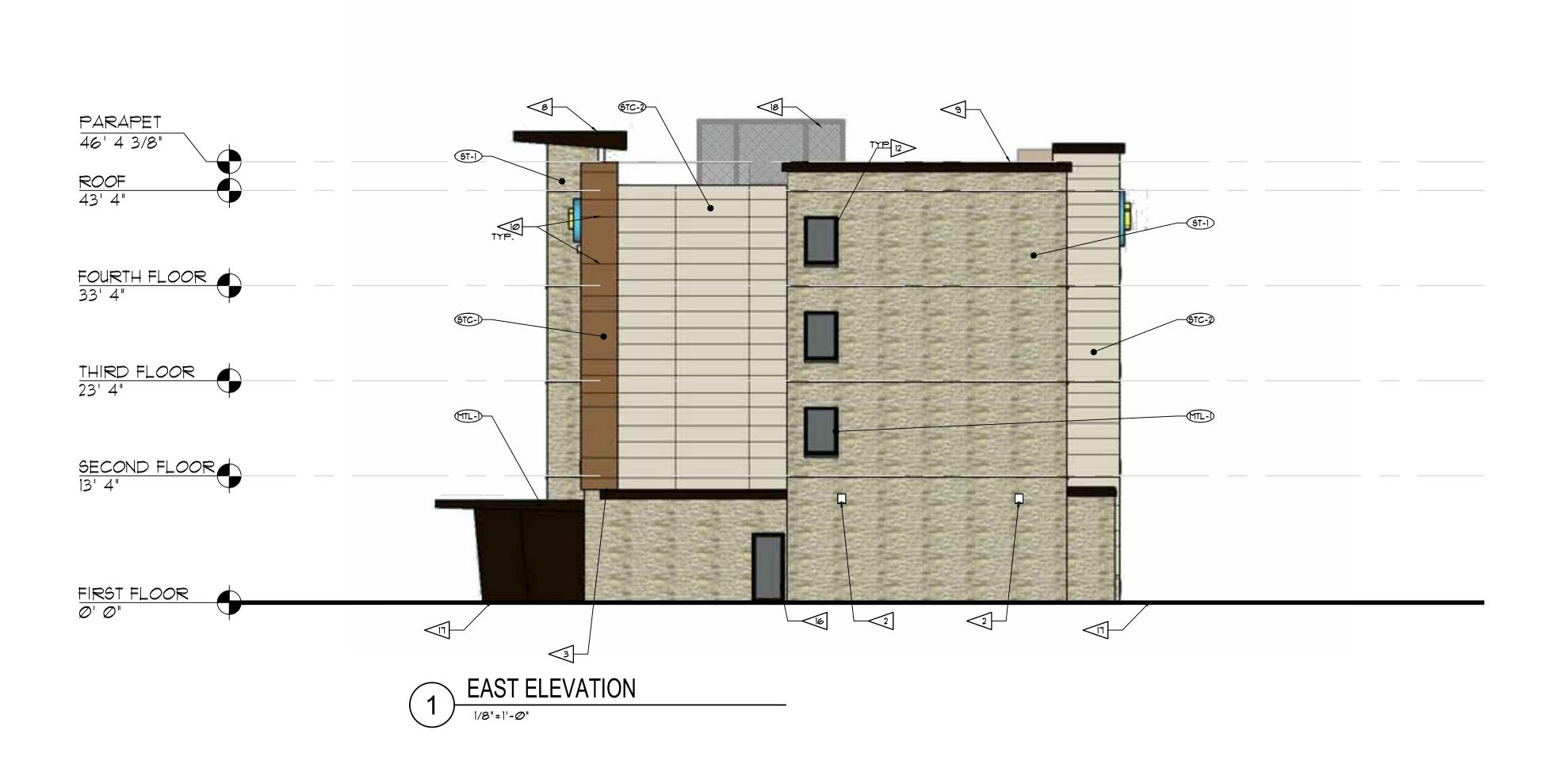
©2018 GARY BRINK & A Any duplication, reproduct other party is prohibited un authorization is received fi ASSOC.	ion, or use by any nless prior written
PROJECT:	201709
DRAWN BY:	
DATE:	
SCALE:	AS NOTED
Síte Plan Submíttal	Ø6/15/2Ø18

CAGE NO. ELEVATION







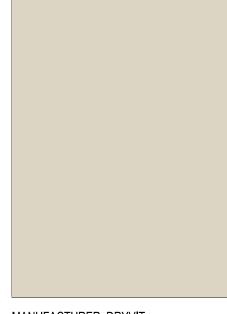




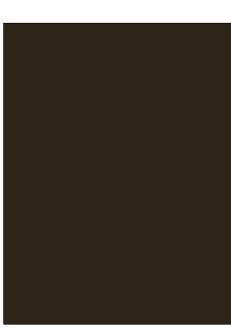
MANUFACTURER: NEVILSTONE: AUSTIN STONE COLOR: AZURE



MANUFACTURER: DRYVIT COLOR: CRAFT PAPER SW 6125



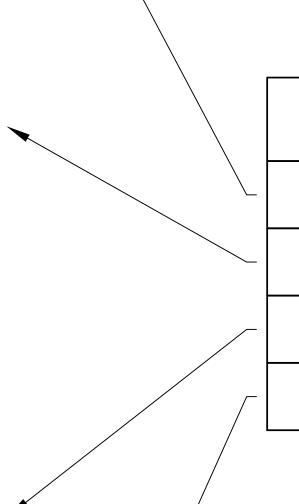
MANUFACTURER: DRYVIT COLOR: CRAFT PAPER SW 6125



MANUFACTURER: FIRESTONE BUILDING PRODUCTS COLOR: DARK BRONZE









7780 ELMWOOD AVE. STE. 204 MIDDLETON, WI 53562 608-829-1750 608-829-3056 (FAX)



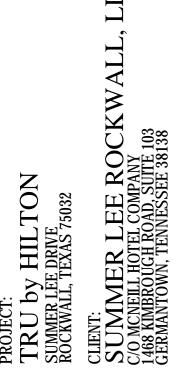
MATERIAL DESCRIPTION <u>STONE</u>-01: ST-1 MANUFACTURER: NEVILSTONE: AUSTIN STONE COLOR: AZURE

STUCCO-01: STC-1 MANUFACTURER: DRYVIT COLOR: CRAFT PAPER SW 6125

STUCCO-02: STC-2 MANUFACTURER: DRYVIT COLOR: TAPESTRY BEIGE BM 0C-32

<u>METAL-</u>01: MTL-1 MANUFACTURER: FIRESTONE BUILDING PRODUCTS COLOR: DARK BRONZE





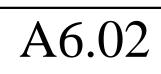
	ROJECT: CRU by H UMMER LEE DR OCKWALL, TEX COMCNEILL HOR COMCNEILL HOR COMCNEILL HOR COMCNEILL HOR COMCNEILL HOR COMCNEILL HOR
	5750 E H IN 1975
HED	©2018 GARY BRINK & ASSOC. Any duplication, reproduction, or use by any other party is prohibited unless prior written authorization is received from GARY BRINK & ASSOC.
IM I	

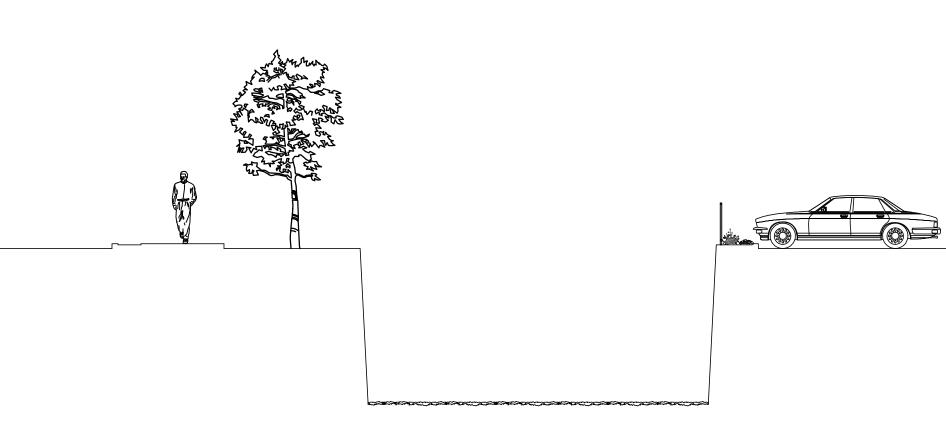
PROJECT:	201709
DRAWN BY:	
DATE:	
SCALE:	AS NOTED
Site Plan Submittal	Ø6/15/2Ø18

➢ EXTERIOR ELEVATION KEY NOTES EXTERIOR WALL-MOUNTED UPLIGHTS - SOUTH ELEVATIONS ONLY. MOUNTED 2' ABOVE FINISHEI FLOOR EXTERIOR WALL-MOUNTED AREA LIGHTING, MOUNTED A 11'-0' ABOVE FINISHED FLOOR.

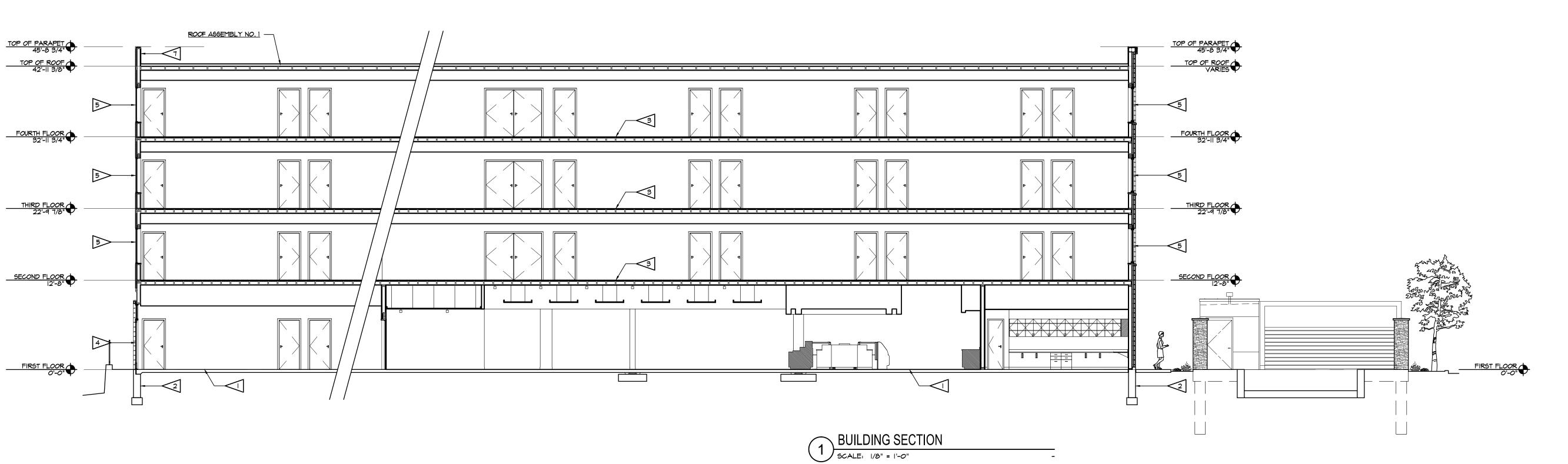
- b. HORIZONTAL LED STRIP LIGHTING. RECESSED LED STRIP LIGHT INTO PRE-FORMED ALUMINUM TROUGH DASHED LINE REPRESENTS ROUTING / EXTENT.
- . NOT USED
- . EXTERIOR WALL-MOUNTED SECURITY WALL PACK LIGHTS. MOUNTED AT 8'-8' A.F.F. TO TOP OF FIXTURE.
- 6. SPANDREL GLASS WITHIN WINDOW TYPE.
- FIXED ALUMINUM GUESTROOM WINDOW SYSTEM WITH INTEGRAL PRE-FINISHED ALUMINUM PTAC LOUVER (TYPICAL),
- 8. PRE-FINISHED STEEL (OR ALUMINUM) FASCIA
- 9. PRE-FINISHED STEEL (OR ALUMINUM) COPING
- 10. 3/4" DEEP V-JOINT IN E.I.F.S. (V.J.)
- 11. E.I.F.S. CONTROL JOIN (C.J.) TYPICAL AT HORIZONTAL FLOOR LINES.
- 12. FIXED ALUMINUM GUESTROOM WINDOW SYSTEM.
- 13. 3/4" PLYWOOD BEHIND FINISH MATERIAL AT SIGN FIELD (AREA SHOWN DASHED, Y.I.F.) OWNER WILL PROVIDE SIGN TEMPLATE.
- 4. INTERNALLY-ILLUMINATED BUILDING SIGNAGE. BUILDING SIGN TO BE FURNISHED AND INSTALLED BY GENERAL CONTRACTOR. CONTRACTOR TO PROVIDE POWER TO J-BOX.
- 15. SLIDING GLASS ENTRY DOOR.
- 16. ALUMINUM STOREFRONT WINDOW AND DOOR SYSTEM.
- 17. APROXIMATE LINE OF GRADE. REFER TO CIVIL DRAWINGS.
- 18. ROOFTOP SCREEN

CASE NO. ELEVATION







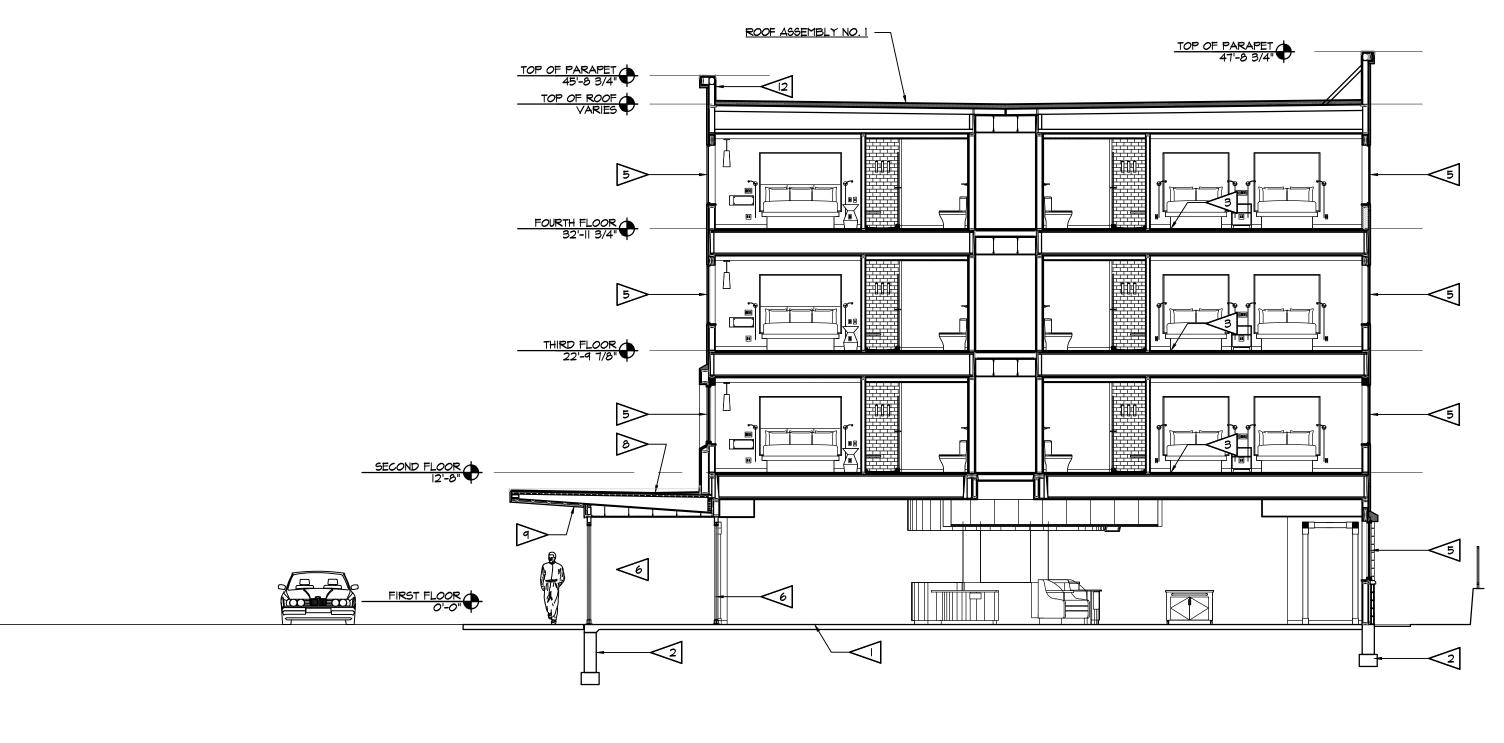


ROOF ASSEMBLY LEGEND

ROOF ASSEMBLY NO. 1: FULLY-ADHERED ROOFING MEMBRANE SYSTEM POLYSTYRENE (EPS) INSULATION BOARD OVER 3/4" T & G OSB ROOF S INDICATED) OVER FRAMING / TRUSSES.

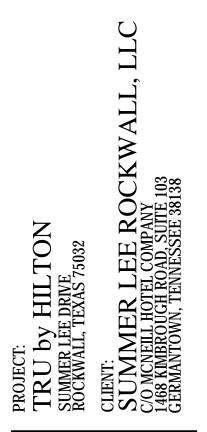
<u>ROOF ASSEMBLY NO. 2</u>: FULLY-ADHERED ROOFING MEMBRANE SYSTE POLY-ISOCYANURATE INSULATION (TAPERED WHERE INDICATED, 1/4" P SLOPED STEEL BEAMS PER STRUCTURAL DRAWINGS.

ROOF ASSEMBLY NO. 3: FULLY-ADHERED ROOFING MEMBRANE SYSTE POLY-ISOCYANURATE INSULATION (TAPERED WHERE INDICATED, 1/4" P ROOF SHEATHING OVER WOOD FRAMING MEMBERS (PER STRUCTURAL)





	1	
	GENERAL NOTES:	GBA
DIEM OVER 4' EXPANDED DF SHEATHING (TAPERED WHERE	1. REFER TO EXTERIOR ELEVATIONS SHEETS AG ØI THROUGH AG Ø3 FOR ADDITIONAL DETAIL CALLOUTS NOT IDENTIFIED HEREIN.	architecture design
6TEM OVER 1/2' MINIMUM ' PER FT) OVER ROOF DECK OVER	2. REFER TO WALL SECTIONS SHEETS AT.II THOUGH AT.IS FOR ADDITIONAL INFORMATION AND DETAILS NOT SPECIFICALLY IDENTIFIED.	7780 ELMWOOD AVE. STE. 20 MIDDLETON, WI 53562 608-829-1750 608-829-3056 (FAX)
97EM OVER 1/2" MINIMUM " PER FT) OVER 3/4" T & G 098	► KEY NOTES	008-829-3030 (FAX)
AL / DETAILS INDICATED.	1. FLOOR CONSTRUCTION (FIRST FLOOR): 5" CONCRETE SLAB-ON-GRADE WITH 6 × 6 - W2.1 × W2.1 WWF (OR FIBER MESH) ON 8" FREELY DRAINING SUB-BASE WITH 10 MIL VAPOR BARRIER - REFER TO STRUCTURAL DRAWINGS.	
	2. CONCRETE FOUNDATION WALL AND SPREAD FOOTING, REFER TO STRUCTURAL DRAWINGS.	
	3. FLOOR CONSTRUCTION (UPPER FLOORS TYP.): 1-1/4' GYPCRETE TOPPING ON 3/4' APA RATED SHEATHING WOOD FLOOR JOISTS REFER TO STRUCTURAL DRAWINGS.	
	4. PRE-FINISHED ALUMINUM STOREFRONT WINDOW SYSTEM WITH THERMALLY-BROKEN FRAME AND INSULATED GLAZING. REFER TO DRAWING SHEET AS @1 & AS @2 AND SPECIFICATION SECTION @8 41 13	
	5. PRE-FINISHED FIXED ALUMINUM WINDOW SYSTEM (AT GUESTROOMS). REFER TO DRAWING SHEET A8.01 & A8.02 AND SPECIFICATION SECTION 08 51 13	by HILTON [™]
	6. SLIDING / BI-PARTING ALUMINUM DOORS. REFER TO SPECIFICATION SECTION Ø8 42 29.	
	1. RUN ROOF MEMBRANE UP AND OVER BACKSIDE OF PARAPET WALL, OVER GYPSUM ROOF PROTECTION BOARD.	
	8. ENTRY CANOPY - REFER TO ROOF PLAN A2.02 FOR ADDITIONAL INFORMATION.	
	9. ALUMINUM COMPOSITE METAL (ACM) SOFFIT PANEL SYSTEM OVER 5/8" FIBER-FACED GYPSUM SOFFIT BOARD OVER G90 SUSPENDED CEILING SYSTEM WITH MONEL 400 HANGER WIRE. REFER TO SPECIFICATION SECTION Ø1 42 43.	

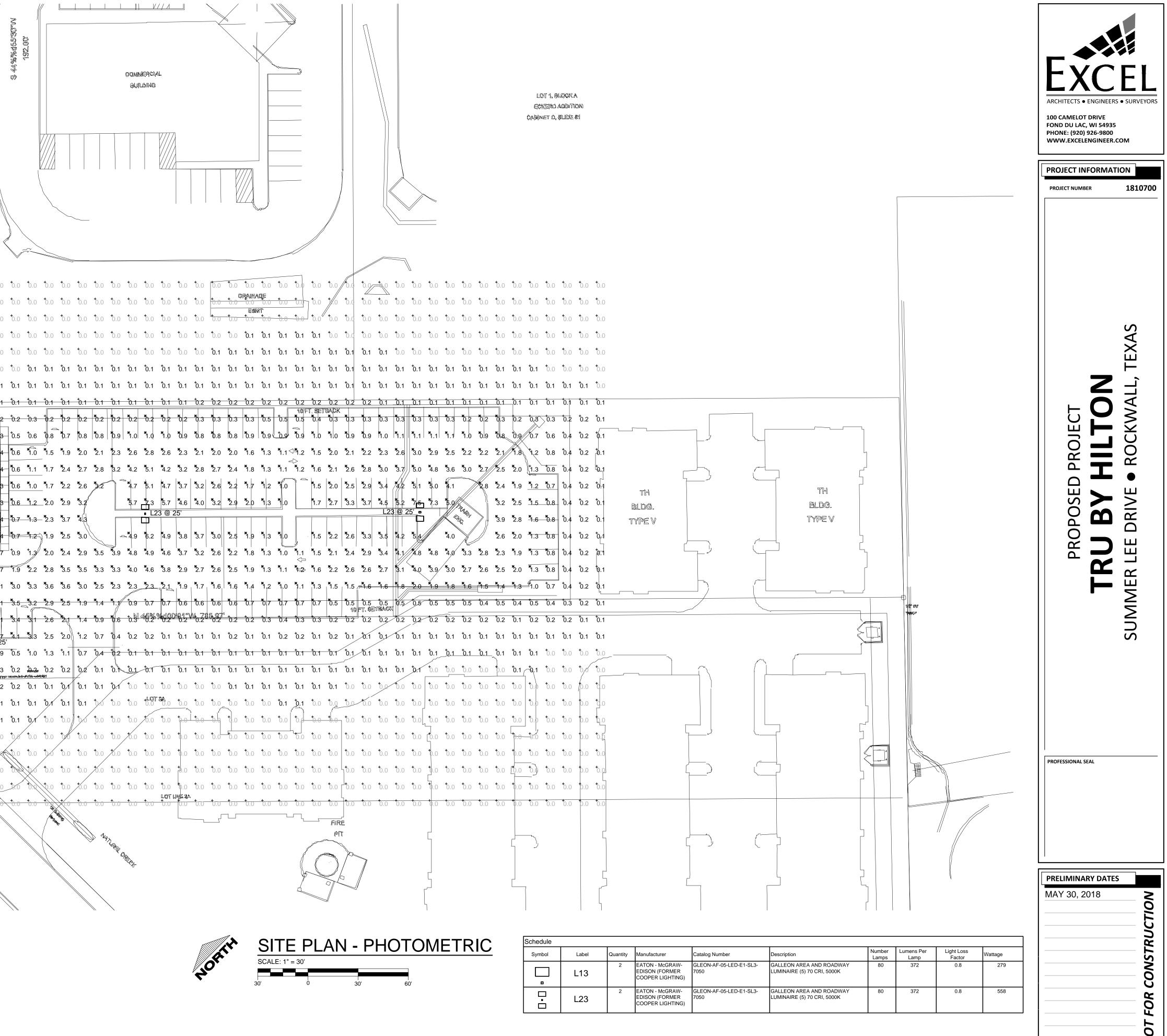


©2018 GARY BRINK & A Any duplication, reproduct other party is prohibited un authorization is received fin ASSOC.	ion, or use by any nless prior written
PROJECT:	201709
DRAWN BY:	DSD
DATE:	
SCALE:	AS NOTED
Síte Plan Submíttal	Ø6/15/2Ø18

BUILDING SECTIONS A7.01

CASE NO.

	S I	108.20'	N 44% % deferrer C	108,23	BART OF LOT \$
to.o to.o to.o to.o to.o to.o to.o to.o to.o to.o to.o to.o to.o to.o to.o to.o to.o to.o to.o to.o to.o to.o to.o to.o to.o to.o to.o to.o to.o to.o to.o to.o to.o to.o to.o to.o to.o to.o to.o to.o to.o to.o to.o to.o to.o to.o to.o to.o to.o to.o to.o to.o to.o to.o to.o to.o to.o to.o to.o to.o to.o	0.0 0.0 0.0 0.0 0.0 0.0 0.0 0.0 0.0 0.0 0.0 0.0 0.0 0.0 0.0 0.0 0.0 0.0 0.0 0.0 0.0 0.0 0.0 0.0 0.0 0.0 0.0 0.0 0.0 0.0 0.0 0.0 0.0 0.0 0.0 0.0 0.0 0.0 0.0 0.0 0.0 0.0 0.0 0.0 0.0 0.0 0.0 0.0 0.0	$\begin{array}{cccccccccccccccccccccccccccccccccccc$	to.o	.0 to.0 <	to.o to.o to.o to.o to.o to.o to.o to.o to.o to.o to.o to.o to.o to.o
to.0 to.0 to.0 to.0 to.0 to.0 to.0 to.0	$\begin{array}{cccccccccccccccccccccccccccccccccccc$	0.2 0.8 0.8 0.8 0.8 0.8 0.8 0.8 0.8	**************************************	.9 10 0.8 0.5 0.4 0.3 1 1.6 12 10 6 0.5 1.3 1.9 1.5 1.4 1.3 1.2	*1.2 *1.3 *1.4 *1.5 *1.6 *1.7
	$\begin{array}{c ccccccccccccccccccccccccccccccccccc$	1.6 $\frac{1}{2}$ $\frac{3}{3.0}$ $\frac{3}{3.9}$ $\frac{4}{4.6}$ $\frac{5}{5.9}$ $\frac{6}{6.6}$ 1.1 $\frac{1}{1.6}$ $\frac{1}{1.6}$ $\frac{1}{1.6}$ $\frac{1}{4.1}$ $\frac{5}{5.5}$ 0.2 0.2 0.1 0.2 0.3 0.6 0.7 0.2 0.2 0.1 0.2 0.3 0.6 0.7 0.1 0.1 0.1 0.2 0.3 0.6 0.7 0.1 0.1 0.1 0.1 0.2 0.2 0.3 0.0 0.1 0.1 0.1 0.2 0.2 0.3 0.0 0.1 0.1 0.1 0.1 0.1 0.1 0.0	$\begin{array}{c} @ 25 \\ \hline 2.6 \\ \hline 1.5 \\ \hline 1.6 \\ \hline 1.7 \\ \hline 1.6 \\ \hline 1.6 \\ \hline 1.6 \\ \hline 1.1 \\ $	$\begin{array}{cccccccccccccccccccccccccccccccccccc$	2.8 3.1 3.8 4.7 4.9 4.1 3.0 3.8 5.2 $1.7.4$ 7.4 7.4 7.4 3.0 3.8 5.2 $1.7.4$ 7.4 7.4 7.4 7.4 1.0 3.8 5.2 $1.7.4$ 7.4 7.4 7.4 7.4 7.4 7.4 7.4 7.4 7.4 7.6 5.7 0.1 5.7 0.1 5.7 0.1 0.1 0.1 0.1 0.9 5.7 0.9 5.7 0.9 5.7 0.9 5.7 0.9 5.7 0.9 5.7 0.9 5.7 0.9 5.7 0.9 5.7 0.9 5.7 0.9 5.7 0.9 5.7 0.9 0.0 <t< td=""></t<>
to.o too too too too to.o too too too too	0.0 0.0 0.0 0.0 0.0 0.0 0.0 0.0 0.0 0.0	0.0 0.0 0.0 0.0 0.0 0.0 0.0 0.0 to.0 to.0 to.0 to.0 to.0 to.0 0.0 to.0 to.0 to.0 to.0 to.0 to.0 0.0 to.0 to.0 to.0 to.0 to.0 to.0	*0.0 *0.0 *0.0 *0.0 *2 *0.0 *0.0 *0.0 *0.0 *0.	20 * 0.0 *0.0 *0.0 *0.0 *0.0 * .0 *0.0 *08 *0.0 *0.0 *0.0	to.0 to.0 to.0 to.0 to.0 to.0

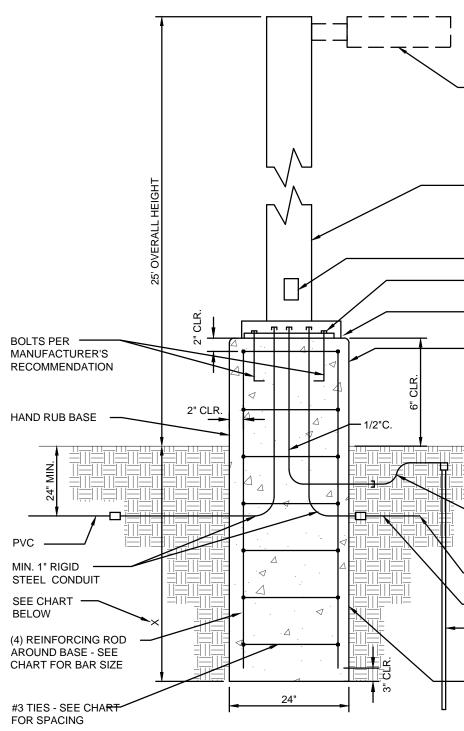


Statistics				
Description	Symbol	Avg	Max	
Calc Zone #1	+	0.6 fc	7.9 fc	ļ
PARKING LOT	Ж	2.4 fc	7.9 fc	ľ

Min	Max/Min	Avg/Min
.0 fc	N/A	N/A
.2 fc	39.5:1	12.0:1

SHEET INFORMATION SITE PLAN - ELECTRICAL





NOTES: A DRILLED 2'-0" DIA. HOLE SHALL BE USED AS THE FORM FOR THE CONCRETE BASE IN UNDISTURBED EARTH, EXCLUDING FILL MATERIAL. BACKFILL AROUND CONCRETE BASE WITH COMPACTED GRANULAR BACKFILL A MIN. OF 2'-0" IN ALL DIRECTIONS IN EXCAVATED AREAS OR IN EXISTING SOIL CONTAINING FILL OF OBJECTIONABLE MATERIAL DESIGN BASED ON IBC-2009: 100 MPH WIND SPEED, EXPOXURE C, 150 PSF/FT LATERAL SOIL

PRESSURE, OCCUPANCY CATEGORY II, IMPORTANCE FACTOR 1.0.

POLE HEIGHT	х	REBAR SIZE	#3 TIE SPACING	FLAT SURFA
10'-0" - 20'-0" 21'-0" - 35'-0" 36'-0" - 45'-0" 46'-0" - 50'-0"	73" (INCHES) 103" (INCHES) 120" (INCHES) 130" (INCHES)	#5 #5 #6 #6	10" 10" 12" 12"	ON GROUT F BASECOVER

GROUT -

LIGHT POLE DETAIL NO SCALE

FIXTURE HEAD. SEE FIXTURE SCHEDULE

STRAIGHT SQUARE STEEL POLE

HANDHOLE - DOUBLE NUT BASE PLATE

PROVIDE GROUT WITH DRAIN

PAINT BASE PER ARCHITECTS REQUIREMENTS

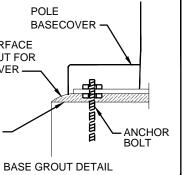
GRAD — #8 Cu BOND TO POLE BASE

└── TO ADDITIONAL POLES. PVC

GROUND ROD

CONTRACTOR. DESIGN MIX SHALL MEET REQUIREMENTS FOR EXTERIOR CONCRETE EXPOSED TO WEATHER.

CONCRETE BASE BY ELECTRICAL



Number o	f Light Squares	1	2	3	4	5	6	7	8	9	10
Nominal P	ower (Watts)	59	113	166	225	279	333	391	445	501	558
Input Curr	rent @ 120V (A)	0.51	1.02	1.53	2.03	2.55	3.06	3.56	4.08	4.6	5.07
Input Curr	rent @ 208V (A)	0.29	0.56	0.82	1.11	1.37	1.64	1.93	2.19	2.46	2.75
Input Curr	rent @ 240V (A)	0.26	0.48	0.71	0.96	1.19	1.41	1.67	1.89	2.12	2.39
Input Curr	rent @ 277V (A)	0.23	0.42	0.61	0.83	1.03	1.23	1.45	1.65	1.84	2.09
Input Curr	rent @ 347V (A)	0.17	0.32	0.50	0.64	0.82	1.00	1.14	1.32	1.50	1.68
Input Curr	rent @ 480V (A)	0.14	0.24	0.37	0.48	0.61	0.75	0.91	0.99	1.12	1.28
Optics											
	4000K/5000K Lumens	6,116	11,951	17,833	23,563	29,195	34,937	41,317	46,814	52,221	57,817
Т2	3000K Lumens	5,414	10,579	15,786	20,858	25,843	30,926	36,574	41,440	46,226	51,180
	BUG Rating	B1-U0-G2	B2-U0-G2	B3-U0-G3	B3-U0-G3	B3-U0-G4	B3-U0-G4	B4-U0-G5	B4-U0-G5	B4-U0-G5	B4-U0-G
	4000K/5000K Lumens	6,493	12,688	18,932	25,015	30,994	37,090	43,863	49,699	55,439	61,380
T2R	3000K Lumens	5,748	11,231	16,759	22,143	27,436	32,832	38,828	43,994	49,075	54,334
	BUG Rating	B1-U0-G1	B2-U0-G2	B2-U0-G2	B3-U0-G3	B3-U0-G4	B3-U0-G4	B3-U0-G4	B3-U0-G5	B4-U0-G5	B4-U0-G
	4000K/5000K Lumens	6,234	12,181	18,176	24,017	29,756	35,609	42,111	47,715	53,225	58,930
ТЗ	3000K Lumens	5,518	10,783	16,089	21,260	26,340	31,521	37,277	42,237	47,115	52,165
	BUG Rating	B1-U0-G2	B2-U0-G2	B3-U0-G3	B3-U0-G4	B3-U0-G4	B3-U0-G5	B4-U0-G5	B4-U0-G5	B4-U0-G5	B4-U0-G
	4000K/5000K Lumens	6,372	12,453	18,580	24,550	30,418	36,400	43,048	48,776	54,409	60,239
T3R	3000K Lumens	5,640	11,023	16,447	21,732	26,926	32,221	38,106	43,177	48,163	53,324
	BUG Rating	B1-U0-G2	B2-U0-G2	B2-U0-G3	B3-U0-G4	B3-U0-G4	B3-U0-G5	B3-U0-G5	B3-U0-G5	B3-U0-G5	B4-U0-G
	4000K/5000K Lumens	6,270	12,252	18,282	24,156	29,929	35,815	42,356	47,992	53,534	59,271
T4FT	3000K Lumens	5,550	10,845	16,183	21,383	26,493	31,703	37,494	42,483	47,388	52,467
	BUG Rating	B1-U0-G2	B2-U0-G2	B2-U0-G3	B3-U0-G4	B3-U0-G5	B3-U0-G5	B3-U0-G5	B3-U0-G5	B4-U0-G5	B4-U0-G
	4000K/5000K Lumens	6,189	12,094	18,045	23,844	29,543	35,352	41,809	47,372	52,843	58,506
T4W	3000K Lumens	5,479	10,706	15,973	21,107	26,151	31,294	37,009	41,934	46,777	51,790
	BUG Rating	B1-U0-G2	B2-U0-G2	B3-U0-G3	B3-U0-G4	B3-U0-G5	B3-U0-G5	B4-U0-G5	B4-U0-G5	B4-U0-G5	B4-U0-G
	4000K/5000K Lumens	6,105	11,931	17,803	23,522	29,144	34,877	41,245	46,734	52,130	57,717
SL2	3000K Lumens	5,404	10,561	15,759	20,822	25,798	30,873	36,510	41,369	46,145	51,091
	BUG Rating	B1-U0-G2	B2-U0-G3	B3-U0-G3	B3-U0-G4	B3-U0-G4	B3-U0-G5	B4-U0-G5	B4-U0-G5	B4-U0-G5	B4-U0-G
	4000K/5000K Lumens	6,233	12,180	18,174	24,013	29,753	35,604	42,106	47,708	53,218	58,921
SL3	3000K Lumens	5,517	10,782	16,088	21,256	26,337	31,517	37,272	42,231	47,109	52,157
	BUG Rating	B1-U0-G2	B2-U0-G3	B2-U0-G3	B3-U0-G4	B3-U0-G4	B3-U0-G5	B3-U0-G5	B3-U0-G5	B4-U0-G5	B4-U0-G
	4000K/5000K Lumens	5,922	11,572	17,268	22,816	28,269	33,829	40,006	45,330	50,566	55,984
SL4	3000K Lumens	5,242	10,244	15,286	20,197	25,024	29,945	35,413	40,126	44,761	49,557
	BUG Rating	B1-U0-G2	B1-U0-G3	B2-U0-G3	B2-U0-G4	B2-U0-G5	B3-U0-G5	B3-U0-G5	B3-U0-G5	B3-U0-G5	B3-U0-G
	4000K/5000K Lumens	6,429	12,563	18,746	24,768	30,688	36,723	43,429	49,208	54,891	60,775
5NQ	3000K Lumens	5,691	11,121	16,594	21,925	27,165	32,507	38,443	43,559	48,590	53,798
	BUG Rating	B2-U0-G1	B3-U0-G2	B4-U0-G2	B4-U0-G2	B5-U0-G2	B5-U0-G3	B5-U0-G3	B5-U0-G3	B5-U0-G4	B5-U0-G
	4000K/5000K Lumens	6,547	12,794	19,090	25,224	31,253	37,400	44,228	50,114	55,902	61,893
5MQ	3000K Lumens	5,795	11,325	16,898	22,328	27,665	33,106	39,151	44,361	49,484	54,788
	BUG Rating	B3-U0-G1	B4-U0-G2	B4-U0-G2	B5-U0-G3	B5-U0-G3	B5-U0-G4	B5-U0-G4	B5-U0-G4	B5-U0-G5	B5-U0-G
	4000K/5000K Lumens	6,564	12,828	19,141	25,291	31,336	37,499	44,347	50,248	56,051	62,058
5WQ	3000K Lumens	5,810	11,355	16,944	22,388	27,739	33,194	39,256	44,480	49,616	54,934
	BUG Rating	B3-U0-G2	B4-U0-G2	B5-U0-G3	B5-U0-G3	B5-U0-G4	B5-U0-G4	B5-U0-G5	B5-U0-G5	B5-U0-G5	B5-U0-G
	4000K/5000K Lumens	5,478	10,703	15,970	21,102	26,145	31,286	37,001	41,924	46,765	51,777
SLL/SLR	3000K Lumens	4,849	9,474	14,137	18,679	23,144	27,694	32,753	37,111	41,396	45,833
	BUG Rating	B1-U0-G2	B1-U0-G3	B2-U0-G3	B2-U0-G4	B3-U0-G4	B3-U0-G5	B3-U0-G5	B3-U0-G5	B3-U0-G5	B3-U0-G
	4000K/5000K Lumens	6,371	12,449	18,576	24,544	30,411	36,392	43,037	48,764	54,396	60,225
RW	3000K Lumens	5,640	11,020	16,443	21,726	26,920	32,214	38,096	43,166	48,151	53,311
	BUG Rating	B3-U0-G1	B3-U0-G2	B4-U0-G2	B4-U0-G2	B5-U0-G3	B5-U0-G3	B5-U0-G3	B5-U0-G4	B5-U0-G4	B5-U0-G
	4000K/5000K Lumens	6,394	12,494	18,644	24,634	30,521	36,524	43,194	48,942	54,593	60,444
AFL	3000K Lumens	5,660	11,060	16,504	21,806	27,017	32,331	38,235	43,323	48,326	53,505
	BUG Rating	B1-U0-G1	B2-U0-G2	B2-U0-G2	B3-U0-G2	B3-U0-G3	B3-U0-G3	B3-U0-G3	B3-U0-G3	B4-U0-G4	B4-U0-G
Nominal dat	ta for 70 CRI.			-	-						
	Eat	on									

"L13" & "L23"

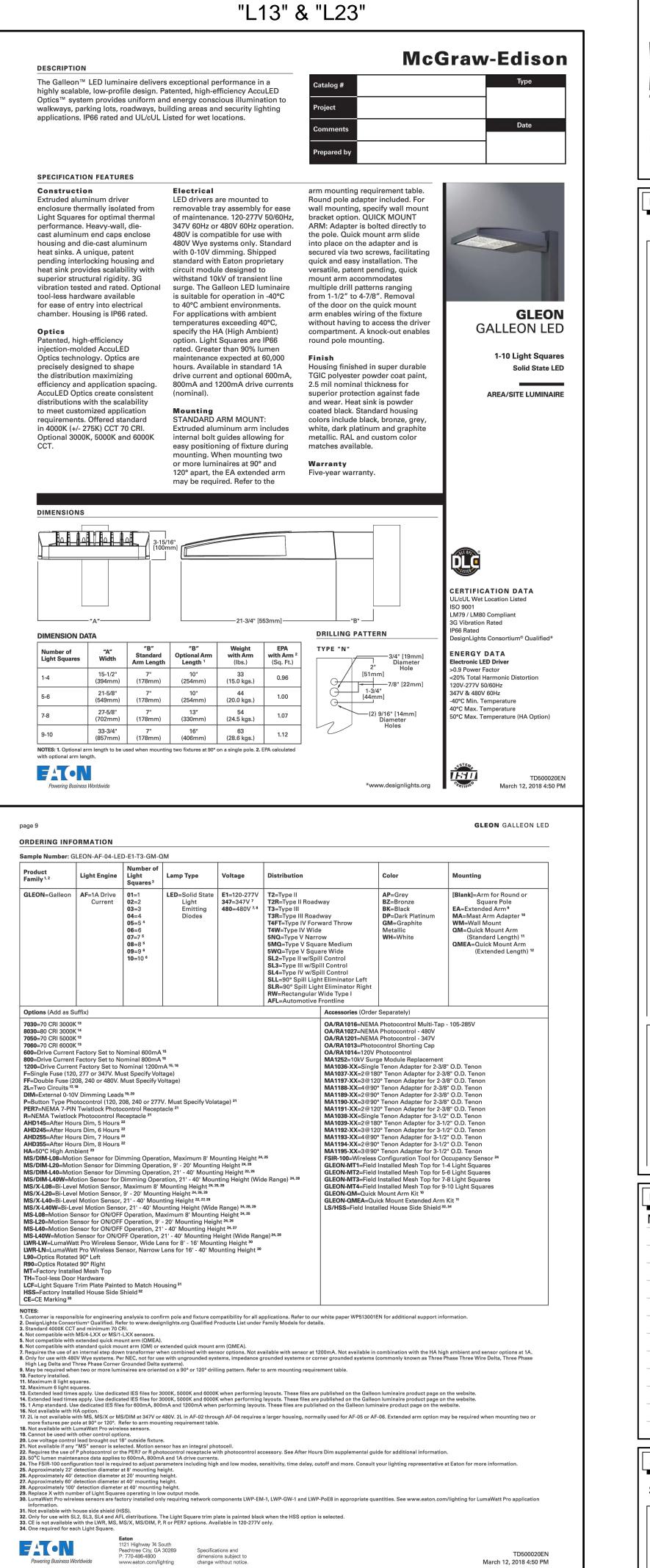
CCT.

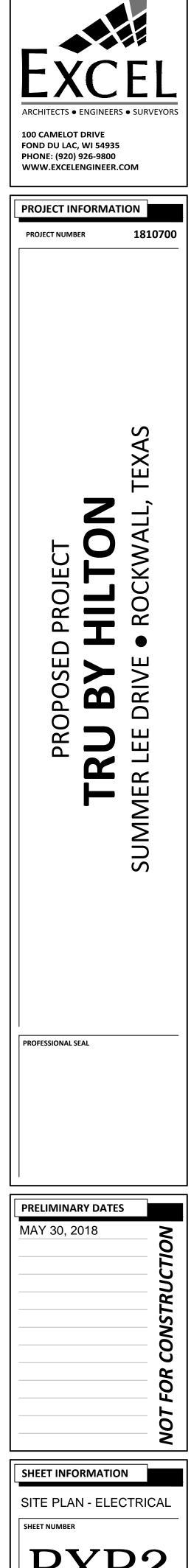
9-10

page 9

Product Family 1, 2

NOTES:





2018 © EXCEL ENGINEERING, INC.





City of Rockwall

Project Plan Review History



Project Number Project Name Type Subtype Status	SP2018-018 Site Plan for 125 Nationa SITE PLAN AMENDING NEED REVISIONS	l Drive	Owner Applicant	RACK, F David C	PARTNERS LTD Osborn		Applied Approved Closed Expired Status	6/15/2018 6/19/2018	DG RM
Site Address 125 NATIONAL D	R	City, State Zip ROCKWALL, TX	75032				Zoning		
Subdivision		Tract 2-16		Block NULL	Lot No 2-16	Parcel No 0128-0000-0002-16-0I	General Pla	in	
Type of Review / N		Sent Du			Elapsed Status		Remarks		
Building Inspection	ons De Russell McDowell	6/19/2018 6/2	21/2018 6/21	/2018	2 APPROV	ED			
(6/20/2018 10 See Markup - Detention is - 4% Engineer - Impact Fees - Need to show - Detention is - Need to show - Can't have a	required ing Inspection Fees w existing and proposed ut required and needs to be s w parking striping, any fire continuous connection of p	hown in the approxi lane (if required), an paving to National. N	mate location d driveway wit leed driveway	h culverts with 24' dr	rive aisles in proper	ty	See Comm	nents	
- Need letter f	rom the County stating tha				acity for the expan	sion			
Fire Department	Ariana Hargrove	6/19/2018	6/21	/2018	2 COMME	NTS	see comm	ents	

Type of Review / Notes Contact S	Sent	Due	Received	Elapsed Status	Remarks
----------------------------------	------	-----	----------	----------------	---------

(6/21/2018 12:33 PM AA)

Approved, unobstructed fire department access (fire lanes) shall be provided such that all portions of the exterior of the building shall be within 150-feet (as the hose lays) of a fire lane and/or other approved fire apparatus access roadway. The path of measurement shall be along a minimum of a ten feet (10') wide unobstructed pathway. (Not shown on plans.)

Where a facility or building hereafter constructed within the jurisdiction is more than 400 feet from a hydrant on a fire apparatus access road, as measured by an approved route around the exterior of the facility or building, on-site fire hydrants and mains shall be provided.

Existing fire hydrants to be considered for the use shall be indicated on the plans.

(Existing fire hydrants on adjacent properties shall not be considered available unless fire apparatus access roads extend between properties and easements are established to prevent obstruction of such roads. Existing fire hydrants on public streets are allowed to be considered as available where streets are not provided with median dividers which cannot be crossed by fire fighters pulling hose lines.)

An approved water supply capable of supplying the required fire flow for fire protection shall be provided. A water flow test verifying capabilities shall be witnessed by the Fire Marshal Division prior to vertical construction.

Building size (square feet) and height to be indicated on the plans.

Presence of automatic fire sprinkler system shall be indicated on the plans. (Fire sprinkler protection required for all buildings exceeding 5,000ft2, A2 Occupancies with an occupant load over 99, occupancy used for the manufacture and/or storage of upholstered furniture or mattresses exceeds 2,500 ft2, and for all R, I & H Occupancies regardless of size. Note: Information only, additional requirements may apply)

GIS Department	Lance Singleton	6/19/2018 6/21/20	18 6/21/2018	2 APPROVE)	
Planning Department	Ryan Miller	6/19/2018 6/19/202	18 6/19/2018	APPROVE	D See Comments	

Type of Review / Notes	Contact	Sent	Due	Received	Elapsed Status	Remarks
------------------------	---------	------	-----	----------	----------------	---------

SP2018-018; Site Plan for 125 National Drive

Please address the following comments (M= Mandatory Comments; I = Informational Comments)

I.1 This is a request for the approval of a site plan for an industrial building on a 1.50-acre tract of land identified as Tract 2-16 of the J. R. Johnson Survey, Abstract No. 128, City of Rockwall, Rockwall County, Texas, zoned Heavy Commercial (HC) District, and addressed as 125 National Drive.

I.2 For questions or comments concerning this case please contact Ryan Miller in the Planning Department at (972) 772-6441 or email rcmiller@rockwall.com. M.3 For reference, include the case number (SP2018-018) in the lower right hand corner of all pages on future submittals.

I.4 Site Plan. According to Section 2.3, Expansion of an Existing Use, of Article VI, Parking and Loading Standards, of the Unified development Code (UDC), "(i)f any building, improvement, or use of land is expanded, the provisions for parking and loading shall be provided for the portion of land use and/or building that has been added."

M.5 Site Plan. Please indicate that the additional parking will be concrete and show line stripping for five (5) additional parking spaces.

M.6 Landscape Plan. Per the requirements of the landscaping ordinance please provide one (1), three (3) inch caliper tree per 100-linear feet of street frontage. A total of three (3) trees will be required. Please indicate this on the site plan.

M.7 Building Elevations. Please provide a picture of the existing metal building on the site.

M.8 Building Elevations. The proposed building elevations do not meet the minimum masonry requirements. This will require an exception from the City Council. M.9 Building Elevations. The proposed building elevations do not meet the minimum horizontal and vertical articulation requirements. This will require a variance from the City Council.

I.10 The Architectural Review Board (ARB) meeting for this case will be heldon June 26, 2018.

I.11 Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any additional information that is requested. Revisions for this case will be due on July 3, 2018; however, it is encouraged for applicants to submit revisions as soon as possible to give staff ample time to review the case prior to the July 10, 2018 Planning & Zoning Meeting. The Planning & Zoning Work Session meeting will be held on June 26, 2018.

I.12 The projected City Council meeting date for this case will be July 16, 2018.





City of Rockwall Planning & Zoning Department

Planning & Zoning Department 385 S. Goliad Street Rockwall, Texas 75032 (P): (972) 771-7745 (W): www.rockwall.com The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

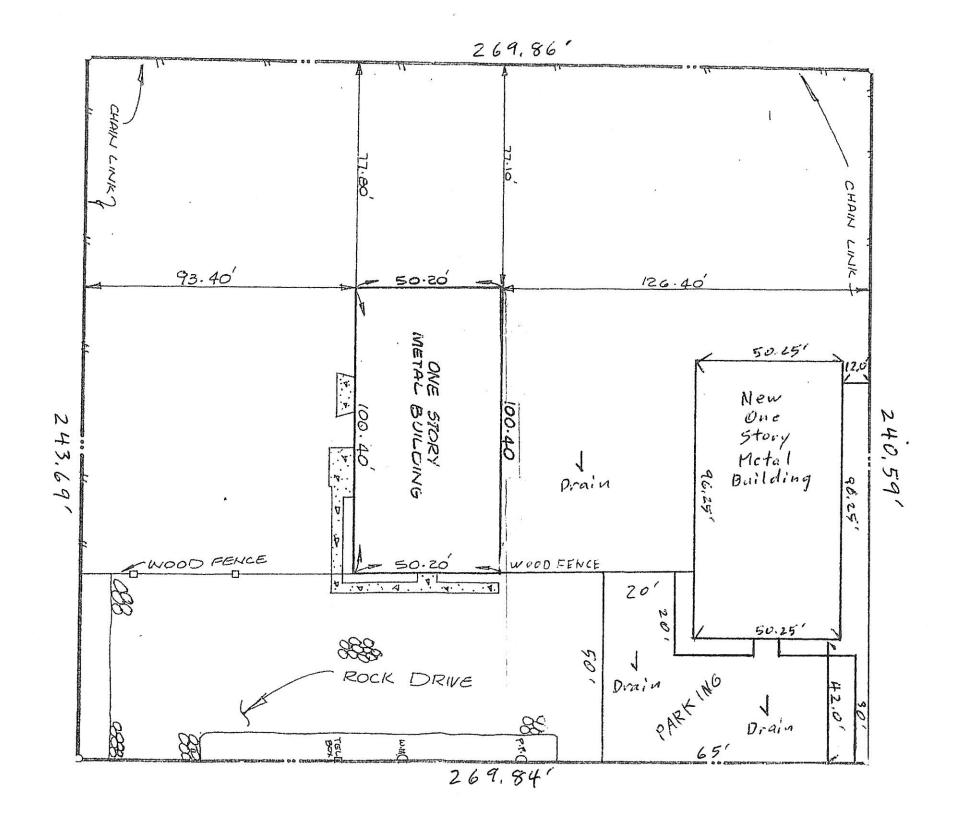


125 National Dr Rockwall

New metal building for warehouse business will be built to match the other existing buildings located on National Drive. We will have 2 trees planted in the front. Concrete parking per plan. No exterior lighting.

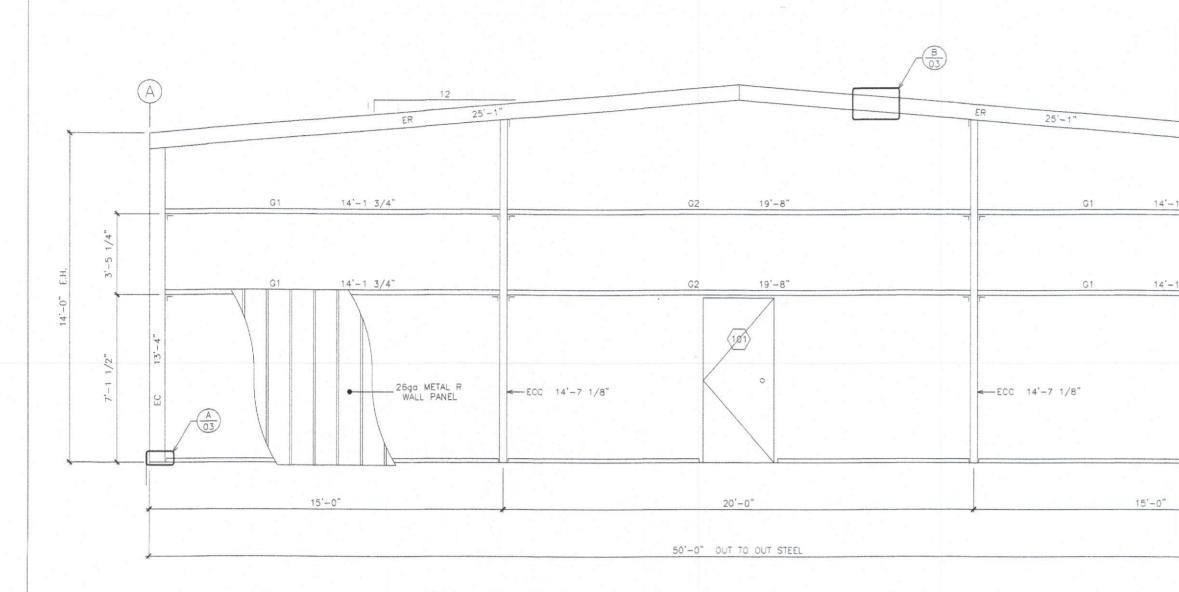
Dand Chle

David Osborn 214-546-4826



125 NATIONAL DR.

COLUMN LINE 1

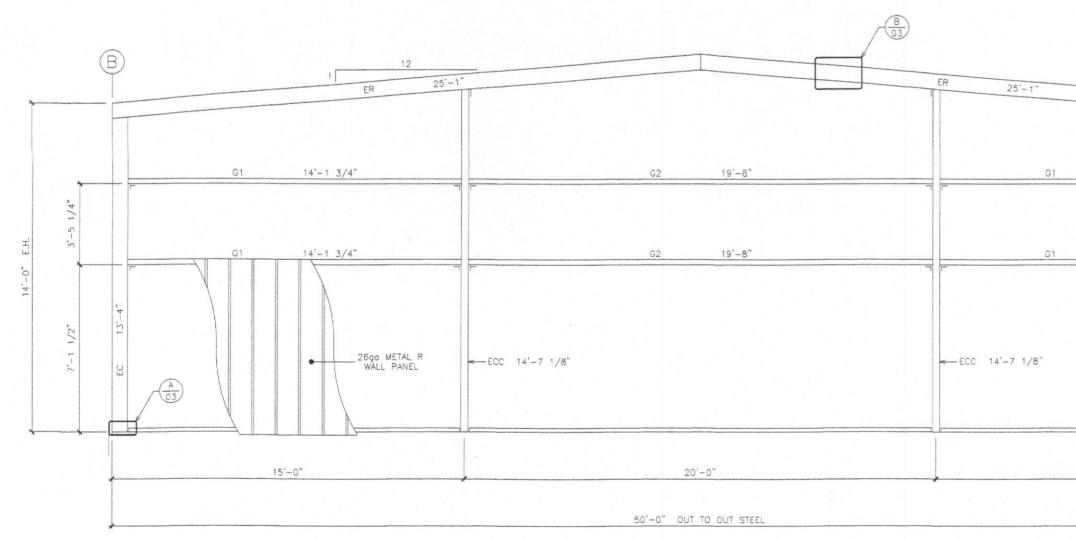


ITEM	DESCRIPTION		SIZE				LENGTH	QTY.			
EC	ENDWALL COLUMN	8"	Х	3	1/2"	Х	14ga	++	Cee	13'-4"	2
ER	ENDWALL RAFTER	8"	×	3	1/2"	X	14gc	-	Cee	25'-1"	2
ECC	ENDWALL CENTER COLUMN	8"	X	3	1/2"	X	14ga	-	Cee	14'-7 1/8"	2
G1	WALL GIRT	8"	X	2	1/2"	X	16ga	-	Cee	14'-1 3/4"	4
G2	WALL GIRT	8"	×	2	1/2"	X	16ga	-	Cee	19'-8"	2
101	METAL DOOR	W	HI	TE.	W/ 8	5 1	/4" F	RA	ME	3070	1

NOTE: DESIGN MEETS THE REQUIREMENTS OF IBC 2015

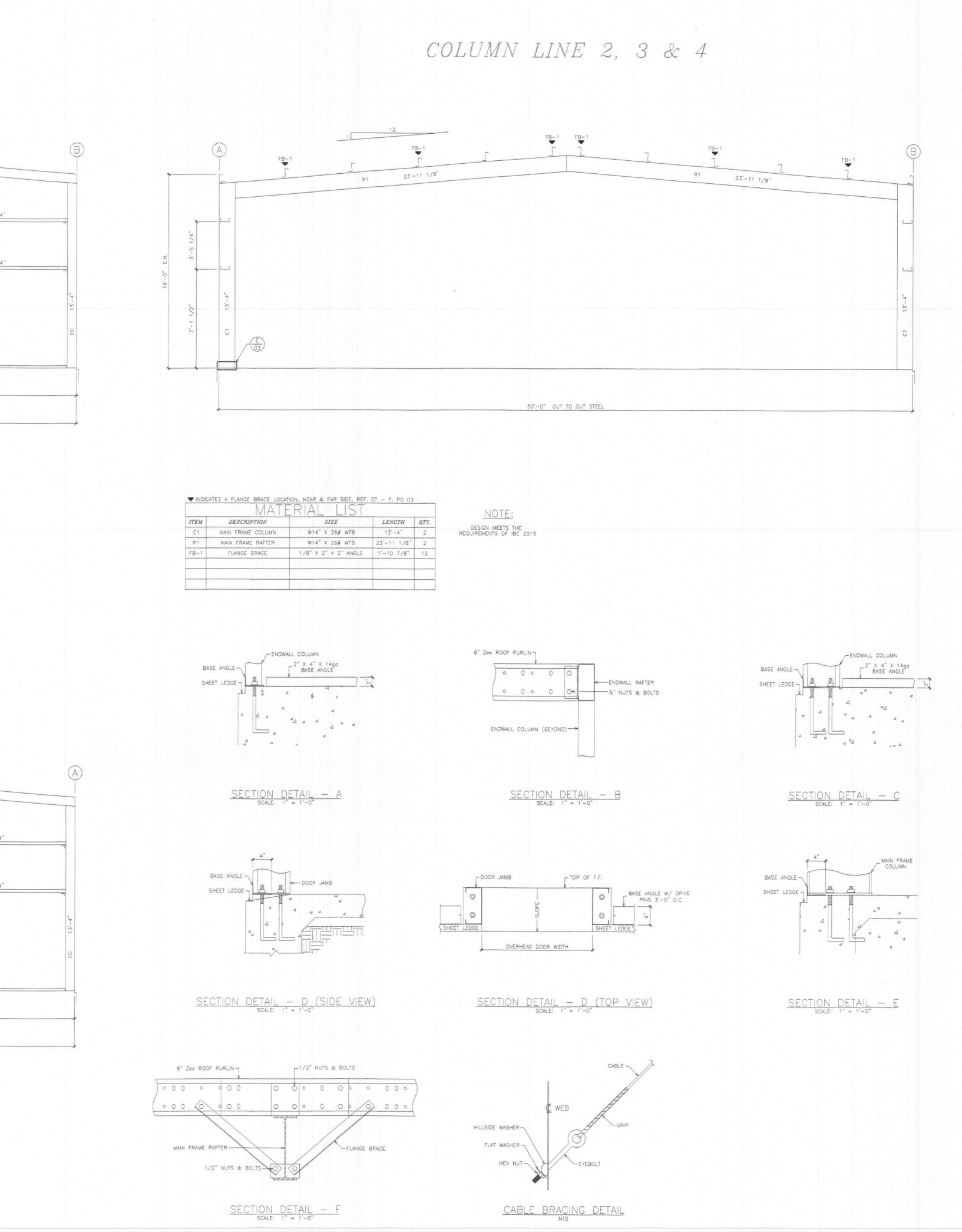
NOTE: FIELD LOCATE 3070 METAL DOOR

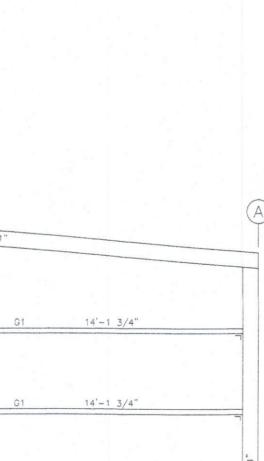
COLUMN LINE 5



ITEM	DESCRIPTION	SIZE	LENGTH QTY
EC	ENDWALL COLUMN	8" X 3 1/2" X 14ga - Cee	13'-4" 2
ER	ENDWALL RAFTER	8" X 3 1/2" X 14ga - Cee	25'-1" 2
ECC	ENDWALL CENTER COLUMN	8" X 3 1/2" X 14ga - Cee	14'-7 1/8" 2
G1	WALL GIRT	8" X 2 1/2" X 16go - Cee	14'-1 3/4" 4
G2	WALL GIRT	8" X 2 1/2" X 16ga - Cee	19'-8" 2

NOTE: DESIGN MEETS THE REQUIREMENTS OF IBC 2015

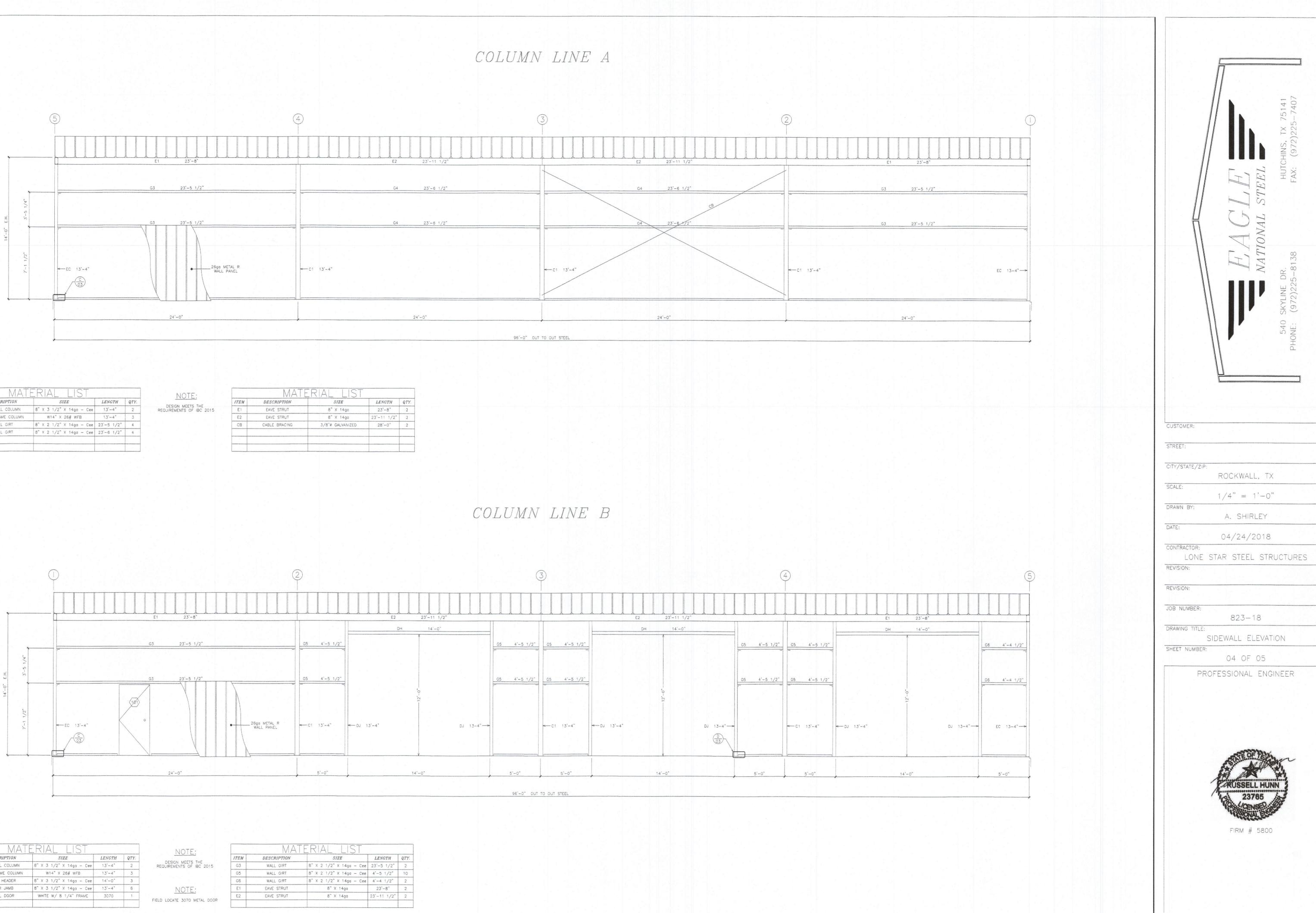




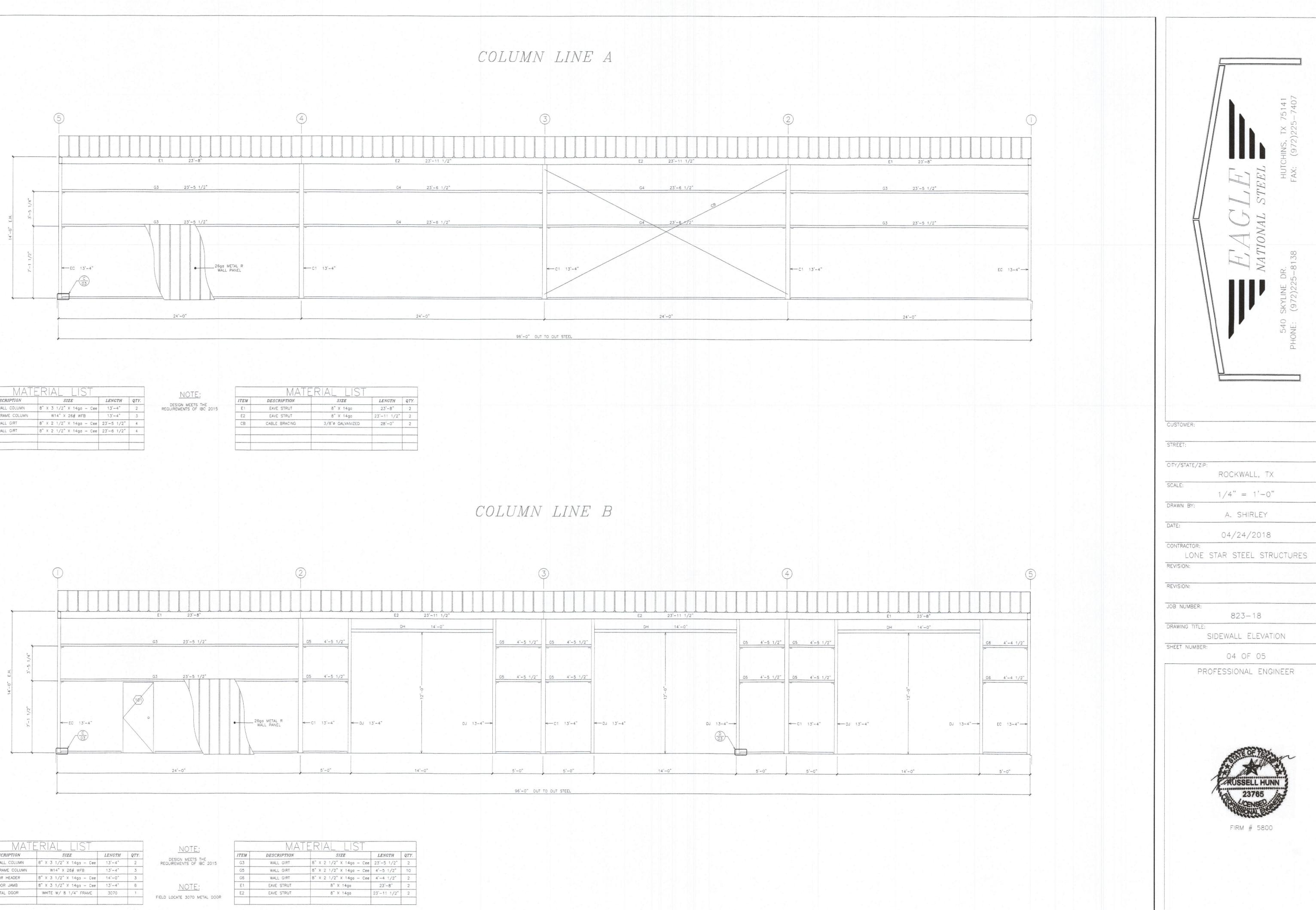
15'-0"

G1 14'-1 3/4" G1 14'-1 3/4"

		HUTCHINS, TX 75141 FAX: (972)225-7407
	EACLE	HUTCHINS FAX: (97:
	EA NATION	540 SKYLINE DR. PHONE: (972)225-8138
CUSTOMER:		
TY/STATE/ZIP:	ROCKWALL, T>	<
CALE:	1/4" = 1'-0'	23
ATE:	A. SHIRLEY	
ONTRACTOR:	04/24/2018	
LONE S	STAR STEEL STR	UCTURES
EVISION:		
DB NUMBER:		
RAWING TITLE:	823-18	
HEET NUMBER:	FRAME ELEVATIO	NS
	03 OF 05 DFESSIONAL ENG	
- NC	TESSIONAL ENG	INCER
	RUSSELL HU 23765 CNSE FIRM # 5800	N



	MAT	ERIAL LIST			NOTE:	MATERIAL LIST					
ITEM	DESCRIPTION	SIZE	LENGTH	QTY.		ITEM	DESCRIPTION	SIZE	LENGTH		
EC	ENDWALL COLUMN	8" X 3 1/2" X 14ga - Cee	13'-4"	2	DESIGN MEETS THE REQUIREMENTS OF IBC 2015	E1	EAVE STRUT	8" X 14go	23'-8"		
C1	MAIN FRAME COLUMN	W14" X 26# WFB	13'-4"	3		E2	EAVE STRUT	8" X 14ga	23'-11 1/3		
G3	WALL GIRT	8" X 2 1/2" X 14ga - Cee	23'-5 1/2"	4		CB	CABLE BRACING	3/8"Ø GALVANIZED	28'-0"		
G4	WALL GIRT	8" X 2 1/2" X 14ga - Cee	23'-6 1/2"	4							
	and the second se										



	MAT	ERIAL LIST			NOTE	MATERIAL LIST				
ITEM	DESCRIPTION	SIZE	LENGTH	QTY.		ITEM	DESCRIPTION	SIZE		
EC	ENDWALL COLUMN	8" X 3 1/2" X 14ga - Cee	13'-4"	2	DESIGN MEETS THE REQUIREMENTS OF IBC 2015	G3	WALL GIRT	8" X 2 1/2" X 14ga - Ci		
C1	MAIN FRAME COLUMN	W14" X 26# WFB	13'-4"	3		G5	WALL GIRT	8" X 2 1/2" X 14ga - Ci		
DH	DOOR HEADER	8" X 3 1/2" X 14ga - Cee	14'-0"	3		G6	WALL GIRT	8" X 2 1/2" X 14go - Co		
DJ	DOOR JAMB	8" X 3 1/2" X 14ga - Cee	13'-4"	6	NOTE	E1	EAVE STRUT	8" X 14go		
101	METAL DOOR	WHITE W/ 8 1/4" FRAME	3070	1	<u></u>	E2	EAVE STRUT	8" × 14ga		
					FIELD LOCATE 3070 METAL DOOR					

이 집에는 것은 것은 것을 가지 않는 것을 물었다.

